

**CITY OF JACKSONVILLE NOTES**  
**GENERAL**

All construction shall be performed in accordance with the approved plans and comply with all standard city policies and practices. City approval is contingent upon any required state or federal permit approvals such as those from the Department of Environmental Protection or the St. Johns River Water Management District (SJRWMD).

**UTILITY WORK**

Plan approval through Development Services does not include utilities. Proposed water, sewer or electric construction must be approved separately through the respective utility company. In most cases, this will be:

JEA  
 JEA Tower - 4th Floor  
 21 W. Church Street  
 Jacksonville, FL 32202  
 http://www.jea.com/business/services/devandbuild/developers.asp

**WORK WITHIN THE RIGHT-OF-WAY**

CITY: Except for new subdivision infrastructure construction, all work performed within a City of Jacksonville right-of-way or easement requires a Right-of-way Permit. The contractor performing the proposed work must have a current Right-of-way Bond on file with Development Services. Right-of-way Permit applications are processed at:

Development Services Customer Service Counter  
 Edward Ball Building, 2nd Floor  
 214 N. Hogan St.  
 Jacksonville, FL 32202  
 (904) 255-6572  
 http://www.jasdev.info/

STATE: All work performed within a state right-of-way requires a permit from the Florida Department of Transportation (FDOT). It is the developer's responsibility to obtain required FDOT permits or maintenance-of-traffic approvals for work within FDOT right-of-ways. The FDOT regional office can be contacted at (904) 360-5200. Any changes to the approved plans needed for FDOT approval must be submitted to Development Services as revisions.

Adjacent State Roads: \_\_\_\_\_

RAILROAD: Railroad companies may require special approvals or permits to work within their right-of-ways. It is the developer's responsibility to obtain permission from any railroad right-of-way owner before performing any work within their right-of-way.

**STORMWATER**

Annual reports in compliance with the SJRWMD stormwater permits are required from the maintenance entity of all stormwater management facilities. Send copies of the reports to:

Engineering and Construction Management  
 Edward Ball Building, 10th Floor  
 214 N. Hogan St.  
 Jacksonville, FL 32202  
 http://www.coj.net/DepartmentsPublic+Works+Engineering+and+Construction+Management/

The owner of any project one (1) acre or larger is required to provide a Notice of Intent (NOI) in accordance with criteria set forth in the city's NPDES permit within 48 hours of beginning construction. Send NOI and NOI fee to:

Florida Department of Environmental Protection  
 NPDES Stormwater Notices Center, Mail Station #2510  
 2600 Blair Stone Road  
 Tallahassee, Florida 32399-2400  
 (850) 336-6112  
 http://www.dep.state.fl.us/water/stormwater/npdes/

The contractor shall contact the City Environmental Quality Division before beginning construction:

Environmental Quality Division  
 407 North Laura Street, Third Floor  
 Jacksonville, FL 32202  
 (904) 255-7222

**FIRE MARSHALL**

Plan review and approval does not relieve the contractor of complying with all applicable State Fire Codes.

Underground mains and hydrants shall be installed, completed, and in service prior to construction work.

Underground contractor shall submit to the Fire Marshall for approval complete specs for all underground pipe and fittings relating to fire protection PRIOR to installation and inspection. Contractor shall include manufacturer's name and pipe ID along with contractor's state license number.

**LANDSCAPE**

A Site Work Permit is required for this project.

Tree Fund payment is due: \_\_\_\_\_ inches at \$ \_\_\_\_\_ = \$ \_\_\_\_\_

Article 25 funds are due: \_\_\_\_\_ inches at \$ \_\_\_\_\_ = \$ \_\_\_\_\_

**TRAFFIC ENGINEERING**

**TRAFFIC SIGNS**

Metro Name	_____	\$100.00	ea.	_____
Standard	_____	\$100.00	ea.	_____
Stop/Yield	_____	\$75.00	ea.	_____
Design	_____	\$45.00		_____
Installation	_____	\$45.00	/hr.	_____
TOTAL				_____

Streetlights Required

NOTE: Traffic sign costs change from time to time. If the costs change after plan approval but prior to payment for installation, the developer must pay for the signs at the current costs. The above total assumes the subdivision will be platted as one phase. If the development is platted as separate phases, design and installation will be calculated separately for each phase.

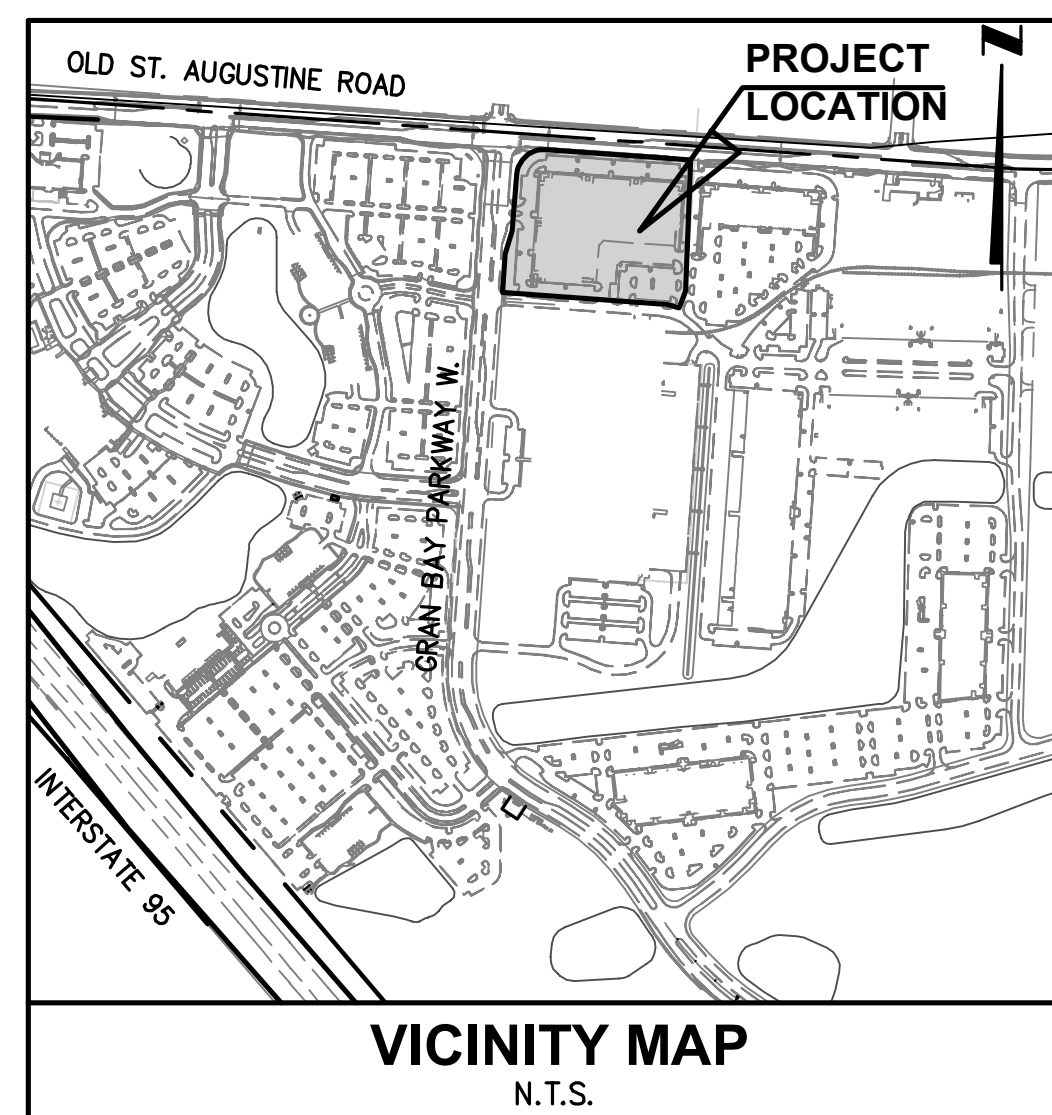
No lane closures allowed from 7 a.m. till 9 a.m. and from 4 p.m. till 6 p.m.

**FLAGLER CENTER**  
**BUILDING 100 RENOVATIONS**  
**FOR**



**FLAGLER**  
 DEVELOPMENT GROUP

**JACKSONVILLE, FLORIDA**  
**DUVAL COUNTY**



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**PLAN APPROVAL**

Date \_\_\_\_\_ Development Services Division (Chief)

Date \_\_\_\_\_ Review Group (Reviewer)

Plan approval is valid for five years after the initial approval date. Revisions made after the initial approval date do not extend this five-year time frame.

PLAN APPROVAL IS SUBJECT TO THE FOLLOWING NOTES AND CONDITIONS:

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**GENERAL PROJECT INFORMATION**

<b>GENERAL</b>	
City Development Number	2234.043
Concurrency Application Number	VPAC 8871
Property Appraiser Number (RE #)	168083 4805
Zoning Designation	PUD
PUD Ordinance Number	2005-117
FIRM - Community - Panel	120077 0285E
Flood Zones (Show in Plans)	X
Base Flood Elev. (Show in Plans)	-
Vertical Datum Used for Project	U.S.C.&G.
JEA Availability Number	-
<b>SUBDIVISION</b>	
PSD Number	N/A
City or Private Inspection	COJ
Public or Private Roads	-
Subdivision ("911") Disk Provided?	-
<b>NON-SUBDIVISION</b>	
North American Industry Classification System (NAICS)	236220
Impervious Area (Sq. Ft.)	367,920 S.F.

PROJECT NUMBER E 00-247-91  
 DATE: SEPTEMBER 2013



PLANS PREPARED UNDER THE DIRECTION OF: PAUL P. HUTCHINSON P.E. NUMBER: 59366  
 REVISIONS:  
 ETM NO. 00-247-91  
 DRAWN BY: C.M.  
 DESIGNED BY: C.M.  
 CHECKED BY: P.P.H.  
 DATE: SEPTEMBER 2013  
**England-Thing & Miller, Inc.**  
 14775 Old St. Augustine Road  
 Jacksonville, FL 32258  
 TEL: (904) 642-8990  
 FAX: (904) 646-9485  
 CA - 00002584 LC - 0000316  
**ETM**  
 VISION • EXPERIENCE • RESULTS  
**COVER SHEET**  
**BUILDING 100 RENOVATIONS**  
**FLAGLER CENTER**  
**FLAGLER DEVELOPMENT COMPANY**  
 DRAWING NUMBER  
**1**

**GENERAL SITE NOTES:**

- ALL WORK SHALL BE PERFORMED IN A SAFE MANNER. ALL SAFETY RULES AND GUIDELINES OF O.S.H.A. SHALL BE FOLLOWED. THE CONTRACTOR SHALL BE WHOLLY RESPONSIBLE FOR ANY INJURIES TO HIS EMPLOYEES, AND FOR ANY DAMAGE TO PRIVATE PROPERTY OR PERSONS DURING THE COURSE OF THIS PROJECT. ALL COSTS ASSOCIATED WITH COMPLYING WITH OSHA REGULATIONS AND THE FLORIDA TRENCH SAFETY ACT MUST BE INCLUDED IN THE CONTRACTORS BID.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR VISITING THE JOB SITE PRIOR TO PREPARING THE BID FOR THE PURPOSE OF FAMILIARIZING HIMSELF WITH THE NATURE AND THE EXTENT OF THE WORK AND LOCAL CONDITIONS, EITHER SURFACE OR SUB-SURFACE, WHICH MAY AFFECT THE WORK TO BE PERFORMED, AND THE EQUIPMENT, LABOR AND MATERIALS REQUIRED. FAILURE TO DO SO WILL NOT RELIEVE THE CONTRACTOR OF COMPLETE PERFORMANCE UNDER THE CONSTRUCTION CONTRACT. THE CONTRACTOR SHALL CONTACT SUNSHINE STATE ONE CALL OF FLORIDA (811) FOR UTILITY LOCATES IN ACCORDANCE WITH STATE LAW PRIOR TO EXCAVATING. THE CONTRACTOR IS ALSO URSUED TO TAKE COLOR PHOTOGRAPHS ALONG THE ROUTE OF OR WITHIN THE PROJECT TO RECORD EXISTING CONDITIONS PRIOR TO CONSTRUCTION, AND TO AID IN RESOLVING POSSIBLE FUTURE ISSUES THAT MAY OCCUR DUE TO THE CONSTRUCTION OF THE PROJECT.
- THE CONTRACTOR SHALL VERIFY LOCATIONS OF EXISTING STRUCTURES, IMPROVEMENTS, UTILITIES, PROPERTY LINES, AND CONFIRM ALL PROPOSED DIMENSIONS AND ELEVATIONS PRIOR TO COMMENCING ANY CONSTRUCTION OR ORDERING ANY MATERIALS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ESTABLISHING A PERMANENT STAND OF SOD AND/OR GRASS PER CITY OF JACKSONVILLE STANDARDS AND MEETING THE NPDES FINAL STABILIZATION REQUIREMENTS.
- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO EITHER CONDUCT ANY FIELD EXPLORATION OR ACQUIRE ANY GEOTECHNICAL ASSISTANCE REQUIRED TO ESTIMATE THE AMOUNT OF UNSUITABLE MATERIAL THAT WILL REQUIRE REMOVAL AND/OR TO ESTIMATE THE AMOUNT OF OFF SITE BORROW THAT WILL BE REQUIRED. FAILURE OF THE CONTRACTOR TO IDENTIFY/QUANTIFY THE AMOUNT OF UNSUITABLE MATERIAL TO BE REMOVED AND REPLACED DURING THE BID PROCESS WILL NOT RELIEVE THE CONTRACTOR OF COMPLETE PERFORMANCE UNDER THE CONSTRUCTION CONTRACT.
- ALL MATERIALS AND WORKMANSHIP ARE TO BE WARRANTED BY THE CONTRACTOR TO THE OWNER AND THE CITY OF JACKSONVILLE FOR A PERIOD OF ONE YEAR FROM DATE OF ACCEPTANCE BY THE OWNER AND THE CITY OF JACKSONVILLE.
- THE LOCATION OF ALL EXISTING UTILITIES, STRUCTURES AND IMPROVEMENTS SHOWN ON THE DRAWINGS IS BASED ON LIMITED INFORMATION AND MAY NOT HAVE BEEN FIELD VERIFIED. THE LOCATIONS ARE APPROXIMATE. THE CONTRACTOR SHALL NOTIFY RESPECTIVE UTILITY OWNERS AND FIELD VERIFY LOCATIONS OF EXISTING UTILITIES AND OTHER IMPROVEMENTS PRIOR TO COMMENCING ANY CONSTRUCTION. IF THE LOCATIONS SHOWN ARE CONTRARY TO THE ACTUAL LOCATIONS, THE CONTRACTOR SHALL NOTIFY THE OWNER AND ENGINEER OF THE DISCREPANCY. THIS DISCREPANCY SHOULD BE RESOLVED PRIOR TO COMMENCING CONSTRUCTION. THE CONTRACTOR SHALL EXERCISE EXTREME CAUTION WHEN WORKING IN AREAS NEAR EXISTING UTILITIES AND IMPROVEMENTS AND SHALL BE RESPONSIBLE FOR AND SHALL REPAIR OR PAY FOR ALL DAMAGE MADE TO EXISTING UTILITIES OR OTHER IMPROVEMENTS. PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION, THE CONTRACTOR SHALL VERIFY ALL GRADES, INVERTS AND TYPE OF MATERIAL OF EXISTING UTILITIES TO WHICH HE SHALL CONNECT, AND NOTIFY THE OWNER AND ENGINEER OF ANY DISCREPANCIES.
- UNLESS DIRECTED OTHERWISE BY THE OWNER OR THE ENGINEER, THE CONTRACTOR WILL CONTRACT WITH AN INDEPENDENT TESTING LABORATORY TO PERFORM MATERIAL TESTING AND SOIL TESTING IN ACCORDANCE WITH CITY REQUIREMENTS
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND INSURANCE REQUIRED FOR THE PROJECT INCLUDING CITY OF JACKSONVILLE RIGHT-OF-WAY PERMITS FOR WORK IN THE CITY RIGHT-OF-WAY OR EASEMENT. CONTRACTOR IS RESPONSIBLE FOR CONTROL OF SEDIMENTATION AND RUNOFF RESULTING FROM RAINFALL EVENTS DURING THE CONSTRUCTION OF THE PROJECT. CONTRACTOR IS RESPONSIBLE FOR COMPLIANCE WITH REGULATORY PERMITS ISSUED FOR THE PROJECT.
- THE CONTRACTOR SHALL COORDINATE THE WORK WITHIN CITY OR STATE RIGHT-OF-WAY WITH THE APPROPRIATE AGENCIES FOR MAINTENANCE OF TRAFFIC AND METHOD OF CONSTRUCTION & REPAIR.
- IF DEWATERING CAPACITY REQUIRES A CONSUMPTIVE USE PERMIT (C.U.P.) IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN THE PERMIT THROUGH THE ST. JOHNS RIVER WATER MANAGEMENT DISTRICT. THE CONTRACTOR SHALL COORDINATE WITH THE OWNER AND THE ENGINEER FOR APPROVAL OF ALL DEWATERING OPERATIONS PRIOR TO COMMENCEMENT.

**GENERAL SITE NOTES:**

- PRIOR TO ANY DISCHARGE OF GROUND WATER (DEWATERING) FROM CONSTRUCTION ACTIVITIES ASSOCIATED WITH THIS PROJECT TO WATERS OF THE STATE (INCLUDING, BUT NOT LIMITED TO, WETLANDS, SWALES AND MUNICIPAL STORM SEWERS), THE CONTRACTOR SHALL TEST THE EFFLUENT (WATER TO BE DISCHARGED) IN ACCORDANCE WITH RULE 62-621.300(2), F.A.C. IF THE TEST RESULTS ON THE EFFLUENT ARE BELOW THE SCREENING VALUES OF RULE 62-621.300(2), F.A.C., THE CONTRACTOR SHALL SUBMIT A SUMMARY OF THE PROPOSED CONSTRUCTION ACTIVITY AND THE TEST RESULTS TO THE DEPARTMENT OF ENVIRONMENTAL PROTECTION DISTRICT OFFICE, WITHIN ONE (1) WEEK AFTER DISCHARGE BEGINS. THE CONTRACTOR SHALL CONTINUE TO SAMPLE THE EFFLUENT AS REQUIRED THROUGHOUT THE PROJECT AND COMPLY WITH ALL CONDITIONS OF RULE 62-621.300(2), F.A.C. IF THE GROUND WATER EXCEEDS THE SCREENING VALUES OF RULE 62-621.300(2), F.A.C., THE CONTRACTOR SHALL COMPLY WITH OTHER APPLICABLE RULES AND REGULATIONS PRIOR TO DISCHARGE OF THE EFFLUENT (GROUND WATER) TO SURFACE WATERS OF THE STATE.
- ALL AREAS SHOWN TO BE FILLED SHALL BE CLEARED AND GRUBBED IN ACCORDANCE WITH CITY OF JACKSONVILLE STANDARDS AND SHALL BE FILLED WITH CLEAN STRUCTURAL FILL COMPACTED AND TESTED IN ACCORDANCE WITH THE GEOTECHNICAL INVESTIGATION REPORT.
- CLEARING AND GRUBBING REQUIRED FOR ALL ROADWAY, UTILITIES, DITCHES, BERMS, RIGHTS-OF-WAYS AND EASEMENTS (INCLUDING ELECTRIC EASEMENTS) ARE INCLUDED IN THIS PROJECT.
- ALL ACCESS EASEMENTS ARE TO BE STABILIZED AND DRIVABLE.
- ALL DEBRIS RESULTING FROM ALL ACTIVITIES SHALL BE DISPOSED OF OFF-SITE BY CONTRACTOR.
- BURNING OF TREES, BRUSH AND OTHER MATERIAL SHALL BE APPROVED, PERMITTED AND COORDINATED WITH CITY OF JACKSONVILLE FIRE MARSHAL AND ALL OTHER PERMITTING AUTHORITIES BY THE CONTRACTOR.
- UNSUITABLE MATERIALS UNDER UTILITY OR STORM PIPE, STRUCTURES, PAVEMENT, BUILDING PADS, OR HARDSCAPE ELEMENTS SHALL BE REMOVED AND REPLACED WITH SELECTED BACKFILL, PROPERLY COMPACTED IN ACCORDANCE WITH THE GEOTECHNICAL REPORT.
- CONTRACTOR IS RESPONSIBLE FOR PROTECTION OF ALL SURVEY AND PROPERTY MONUMENTS. IF A MONUMENT IS DISTURBED, THE CONTRACTOR SHALL CONTRACT WITH THE SURVEYOR OF RECORD FOR REINSTALLATION OF THE MONUMENT.
- ALL UNDERGROUND UTILITIES TO BE INSTALLED UNDER PAVEMENT MUST BE INSTALLED PRIOR TO PREPARATION OF SUBGRADE FOR PAVEMENT.
- THE CONTRACTOR SHALL COORDINATE HIS CONSTRUCTION WITH ALL OTHER CONTRACTORS. IN THE EVENT OF ANY CONFLICT WHATSOEVER, THE CONTRACTOR SHALL NOTIFY THE ENGINEER AND OWNER PRIOR TO PROCEEDING WITH CONSTRUCTION.
- THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS ON ALL MATERIALS TO THE ENGINEER FOR REVIEW AND APPROVAL PRIOR TO PURCHASE OR CONSTRUCTION OF ANY UTILITY OR STORM PIPE OR STRUCTURE.
- FLOOD ZONE BASED UPON FEMA INSURANCE RATE MAPS PANEL NOS. 120077 0285 E, DATED: AUGUST 15, 1989.
- FOR SEDIMENT AND EROSION CONTROL PLANS, DETAILS AND NOTES REFER TO DRAWINGS 11A, AND 11B. CONTRACTOR TO COORDINATE WITH AUTHORITY FOR INSPECTIONS PRIOR TO CLEARING OPERATIONS.
- ELEVATIONS ARE BASED ON U.S.C.& G.
- ALL WORK AND MATERIALS SHALL BE IN COMPLETE ACCORDANCE WITH ALL RELATIVE SECTIONS OF "CITY STANDARD SPECIFICATIONS FOR CITY OF JACKSONVILLE, FLORIDA", (LATEST REVISION) AND ALL CURRENT CITY STANDARD DETAILS. THE WORK SHALL ALSO BE PERFORMED AND TESTED IN ACCORDANCE WITH THE RECOMMENDATIONS SET FORTH IN THE GEOTECHNICAL INVESTIGATION REPORT PROVIDED BY ELLIS & ASSOCIATES INC., DATED: OCTOBER 26, 2009, IF MORE STRINGENT THAN CITY REQUIREMENTS.
- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE CIVIL ENGINEER TO DETERMINE IF THIS PROJECT IS WITHIN THE CITY'S JURISDICTION FOR INSPECTION. IF SO THEN, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO COORDINATE WITH THE CITY FOR PRE-CONSTRUCTION MEETING AND INSPECTIONS.

**PAVING AND DRAINAGE NOTES:**

- ALL DRAINAGE STRUCTURES TO HAVE TRAFFIC BEARING GRATES.
- ALL DRAINAGE PIPE JOINTS ARE TO BE FILTER FABRIC WRAPPED.
- ALL INVERTS IN DRAINAGE STRUCTURES TO BE PRECAST OR BRICK WITH LAYER OF MORTAR BETWEEN EACH LAYER OF BRICK, OR REDDI-MIX CONCRETE WITH #57 STONE.
- ALL PIPE LENGTHS ARE SCALED DIMENSIONS. ALL DRAINAGE STRUCTURES SHALL BE CONSTRUCTED TO CONFORM WITH CITY REQUIREMENTS AND SHALL BE CONSTRUCTED TO CONFORM WITH CURBING, PROPERTY LINES AND LOW POINTS AS SHOWN ON THE PLANS.
- CONTRACTOR SHALL ENSURE THAT ALL DRAINAGE STRUCTURES, PIPES, ETC. ARE CLEAN AND FUNCTIONING PROPERLY AT TIME OF ACCEPTANCE.
- "AS-BUILT" DRAWINGS - DRAINAGE AS-BUILTS PROVIDED TO THE ST. JOHNS RIVER WATER MANAGEMENT DISTRICT ARE REQUIRED TO BE SIGNED AND SEALED BY A FLORIDA REGISTERED LAND SURVEYOR. THEREFORE, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CONTRACT WITH A LAND SURVEYOR REGISTERED IN THE STATE OF FLORIDA FOR THE PREPARATION, FIELD LOCATIONS, CERTIFICATION AND SUBMITTAL OF "AS-BUILT" DRAWINGS IN ACCORDANCE WITH SURMWD REGULATIONS.
- THE CONTRACTOR SHALL PROVIDE ACCESSIBLE CURB RAMPS AT ALL SIDEWALK AND CURB CONNECTIONS. RAMPS SHALL MEET ALL APPLICABLE ADA REQUIREMENTS.
- FOR SPECIAL PAVING AND DRAINAGE DETAILS SEE DRAWING NO. 9. FOR ALL STANDARD DETAILS SEE CITY OF JACKSONVILLE STANDARD SPECIFICATIONS AND DETAILS, LATEST REVISION.
- ALL EROSION AND SEDIMENT CONTROL MEASURES, INCLUDING SILT FENCE, HAY BALES, AND FILTER FABRIC INSIDE DRAINAGE STRUCTURES SHALL BE REMOVED PRIOR TO FINAL INSPECTION, UNLESS OTHERWISE DIRECTED BY THE OWNER OR THE ENGINEER.

**PAVING AND DRAINAGE LEGEND**

EXISTING	PROPOSED		EXISTING	PROPOSED	
		SPOT ELEVATION			DITCH FLOW ARROWS
		CONTOURS			STRUCTURE NUMBERS
		BOUNDARY			DRAINAGE AREA
		DRAINAGE DIVIDE			SOIL BORING LOCATION
		STORM SEWER AND SIZE			UNDERDRAIN
		STORM SEWER INLET			CONCRETE SIDEWALK
		STORM SEWER MANHOLE			CONCRETE CURB AND GUTTER
		MITERED END SECTION			JURISDICTIONAL WETLANDS
		DRAINAGE FLOW ARROWS			SILT FENCE
					HAY BALES

PLANS PREPARED UNDER THE DIRECTION OF:

PAUL P. HUTCHINSON  
P.E. NUMBER: 59366

REVISIONS:

ETM NO. 00-247-91	C.M.	C.M.	P.P.H.	SEPTEMBER 2013
DRAWN BY:	DESIGNED BY:	CHECKED BY:	DATE:	

England, Thims & Miller, Inc.  
14775 Old St. Augustine Road  
Jacksonville, FL 32226

TEL: (904) 642-8900  
FAX: (904) 646-9465  
CA - 0000294 LC - 0000316

**ETM**  
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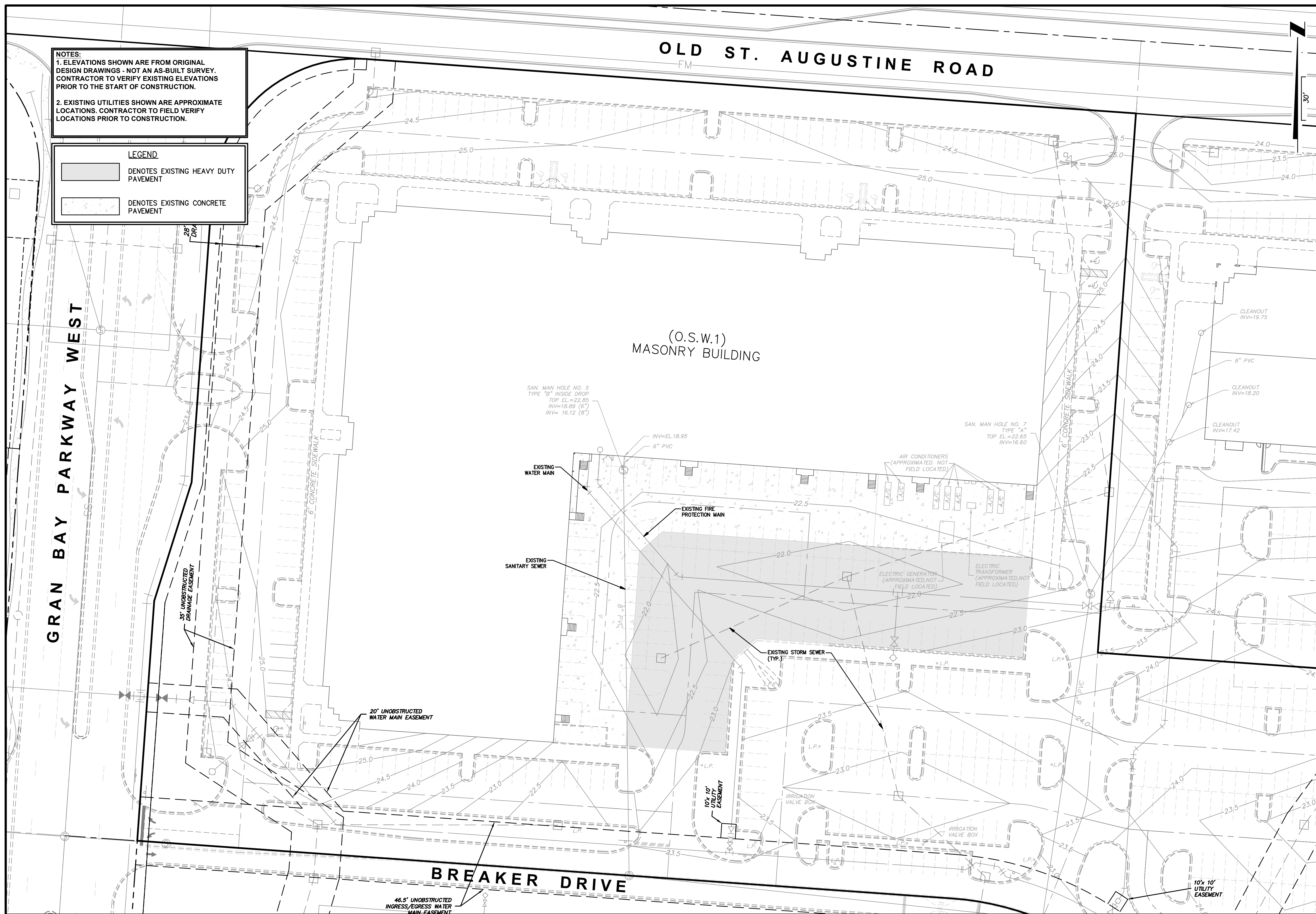
**GENERAL NOTES & LEGENDS**  
**BUILDING 100 RENOVATIONS**  
**FLAGLER CENTER**  
**FLAGLER DEVELOPMENT COMPANY**

DRAWING NUMBER

**12**

**NOTES:**  
 1. ELEVATIONS SHOWN ARE FROM ORIGINAL DESIGN DRAWINGS - NOT AN AS-BUILT SURVEY. CONTRACTOR TO VERIFY EXISTING ELEVATIONS PRIOR TO THE START OF CONSTRUCTION.  
 2. EXISTING UTILITIES SHOWN ARE APPROXIMATE LOCATIONS. CONTRACTOR TO FIELD VERIFY LOCATIONS PRIOR TO CONSTRUCTION.

**LEGEND**  
 [Hatched Box] DENOTES EXISTING HEAVY DUTY PAVEMENT  
 [Dotted Box] DENOTES EXISTING CONCRETE PAVEMENT



PLANS PREPARED UNDER THE DIRECTION OF:  
 PAUL P. HUTCHINSON  
 P.E. NUMBER: 59366

REVISIONS:

ETM NO. 00-247-91	DESIGNED BY: C.M.	CHECKED BY: P.P.H.	DATE: SEPTEMBER 2013
DRAWN BY: C.M.	DESIGNED BY: C.M.	CHECKED BY: P.P.H.	DATE: SEPTEMBER 2013

**England, Thims & Miller, Inc.**  
 14775 Old St. Augustine Road  
 Jacksonville, FL 32226  
 TEL: (904) 644-8900  
 FAX: (904) 644-9465  
 CA - 0002984 LC - 0003016

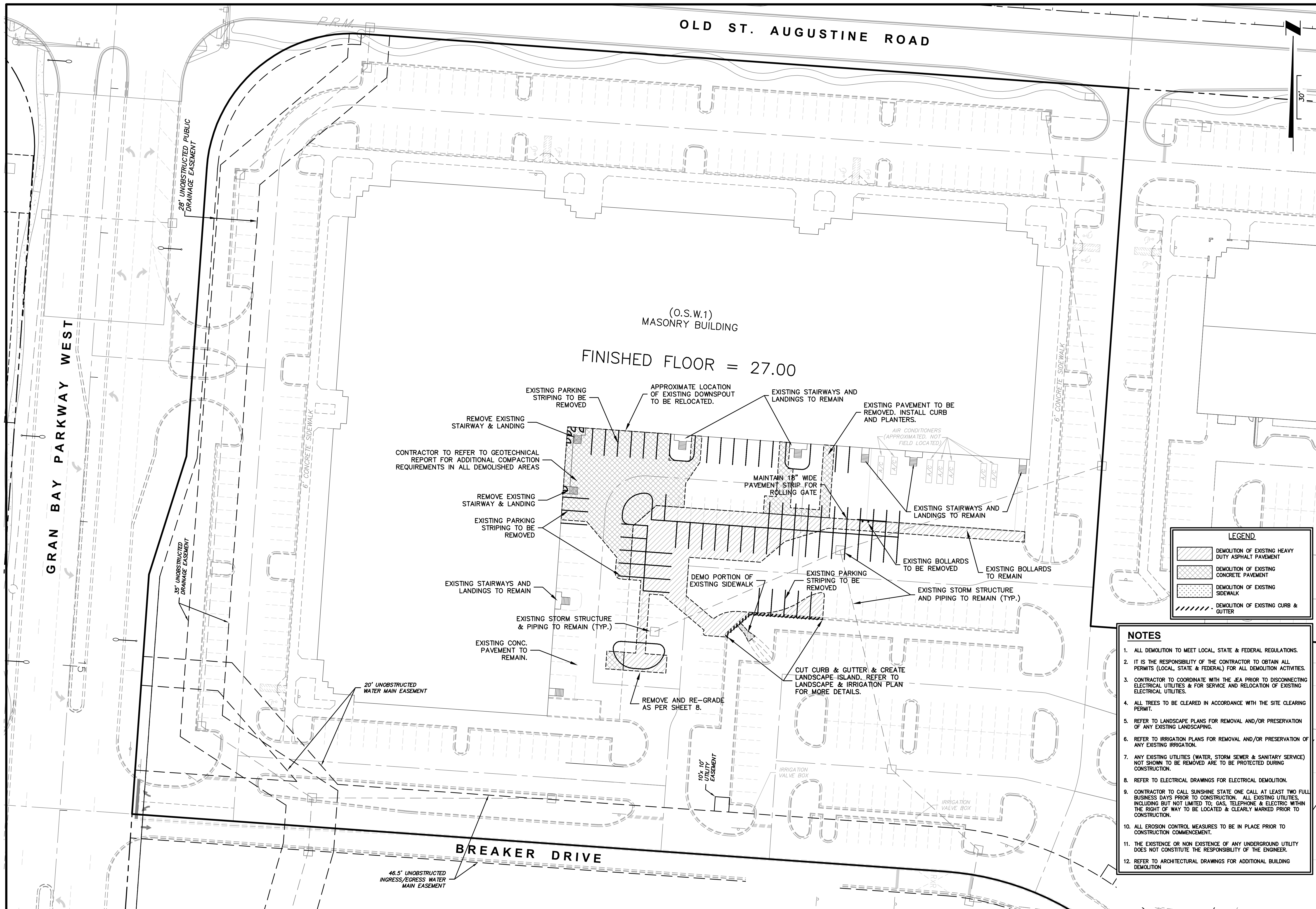
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**EXISTING CONDITIONS**  
**BUILDING 100 RENOVATIONS**  
**FLAGLER CENTER**  
**FLAGLER DEVELOPMENT COMPANY**

DRAWING NUMBER  
**13**

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CONTRACTOR TO REFER TO GEOTECHNICAL REPORT FOR ADDITIONAL COMPACTION REQUIREMENTS IN ALL DEMOLISHED AREAS

LEGEND	
[Hatched pattern]	DEMOLITION OF EXISTING HEAVY DUTY ASPHALT PAVEMENT
[Cross-hatched pattern]	DEMOLITION OF EXISTING CONCRETE PAVEMENT
[Dotted pattern]	DEMOLITION OF EXISTING SIDEWALK
[Diagonal line pattern]	DEMOLITION OF EXISTING CURB & GUTTER

- NOTES**
1. ALL DEMOLITION TO MEET LOCAL, STATE & FEDERAL REGULATIONS.
  2. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN ALL PERMITS (LOCAL, STATE & FEDERAL) FOR ALL DEMOLITION ACTIVITIES.
  3. CONTRACTOR TO COORDINATE WITH THE JEA PRIOR TO DISCONNECTING ELECTRICAL UTILITIES & FOR SERVICE AND RELOCATION OF EXISTING ELECTRICAL UTILITIES.
  4. ALL TREES TO BE CLEARED IN ACCORDANCE WITH THE SITE CLEARING PERMIT.
  5. REFER TO LANDSCAPE PLANS FOR REMOVAL AND/OR PRESERVATION OF ANY EXISTING LANDSCAPING.
  6. REFER TO IRRIGATION PLANS FOR REMOVAL AND/OR PRESERVATION OF ANY EXISTING IRRIGATION.
  7. ANY EXISTING UTILITIES (WATER, STORM SEWER & SANITARY SERVICE) NOT SHOWN TO BE REMOVED ARE TO BE PROTECTED DURING CONSTRUCTION.
  8. REFER TO ELECTRICAL DRAWINGS FOR ELECTRICAL DEMOLITION.
  9. CONTRACTOR TO CALL SUNSHINE STATE ONE CALL AT LEAST TWO FULL BUSINESS DAYS PRIOR TO CONSTRUCTION. ALL EXISTING UTILITIES, INCLUDING BUT NOT LIMITED TO, GAS, TELEPHONE, & ELECTRIC WITHIN THE RIGHT OF WAY TO BE LOCATED & CLEARLY MARKED PRIOR TO CONSTRUCTION.
  10. ALL EROSION CONTROL MEASURES TO BE IN PLACE PRIOR TO CONSTRUCTION COMMENCEMENT.
  11. THE EXISTENCE OR NON EXISTENCE OF ANY UNDERGROUND UTILITY DOES NOT CONSTITUTE THE RESPONSIBILITY OF THE ENGINEER.
  12. REFER TO ARCHITECTURAL DRAWINGS FOR ADDITIONAL BUILDING DEMOLITION

PLANS PREPARED UNDER THE DIRECTION OF:

PAUL P. HUTCHINSON  
P.E. NUMBER: 93366

REVISIONS:

ETM NO. 00-247-91	
DRAWN BY: C.M.	
DESIGNED BY: C.M.	
CHECKED BY: P.P.H.	
DATE: SEPTEMBER 2013	

**England, Thoms & Miller, Inc.**  
14775 Old St. Augustine Road  
Jacksonville, FL 32258  
TEL: (904) 642-8980  
FAX: (904) 646-9485  
CA - 0002684 LC - 0000316

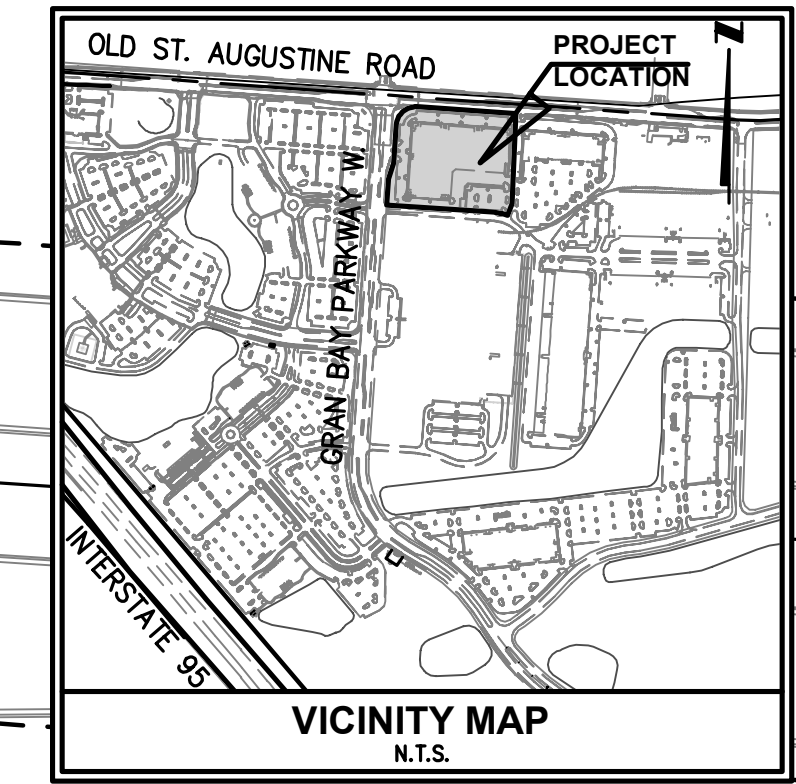
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**DEMOLITION PLAN**  
**BUILDING 100 RENOVATIONS**  
**FLAGLER CENTER**  
**FLAGLER DEVELOPMENT COMPANY**

DRAWING NUMBER  
**4**

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PLOTTED: October 3, 2013 - 4:22 PM, BY: Carmelo Morales



# OLD ST. AUGUSTINE ROAD

# GRAN BAY PARKWAY WEST

## BUILDING 100 (O.S.W.1) (EXISTING)

**OWNER/DEVELOPER:** FLAGLER DEVELOPMENT COMPANY  
10151 DEERWOOD PARK BOULEVARD  
BUILDING 100, SUITE 330  
JACKSONVILLE, FL. 32256-0564  
(904)565-4100

**ENGINEER:** ENGLAND-THIMS & MILLER, INC.  
14775 OLD ST. AUGUSTINE ROAD  
JACKSONVILLE, FLORIDA 32258  
(904)265-3164  
ATTENTION: PAUL HUTCHINSON

**SURVEYOR:** ROBERT M. ANGAS ASSOCIATES, INC.  
14775 OLD ST. AUGUSTINE ROAD  
JACKSONVILLE, FLORIDA 32258  
(904)642-8990  
ATTENTION: TOM SMITH

**LANDSCAPE ARCHITECT:** ENGLAND-THIMS & MILLER, INC.  
14775 OLD ST. AUGUSTINE ROAD  
JACKSONVILLE, FLORIDA 32258  
(904)642-8990  
ATTENTION: KARL SODERHOLM

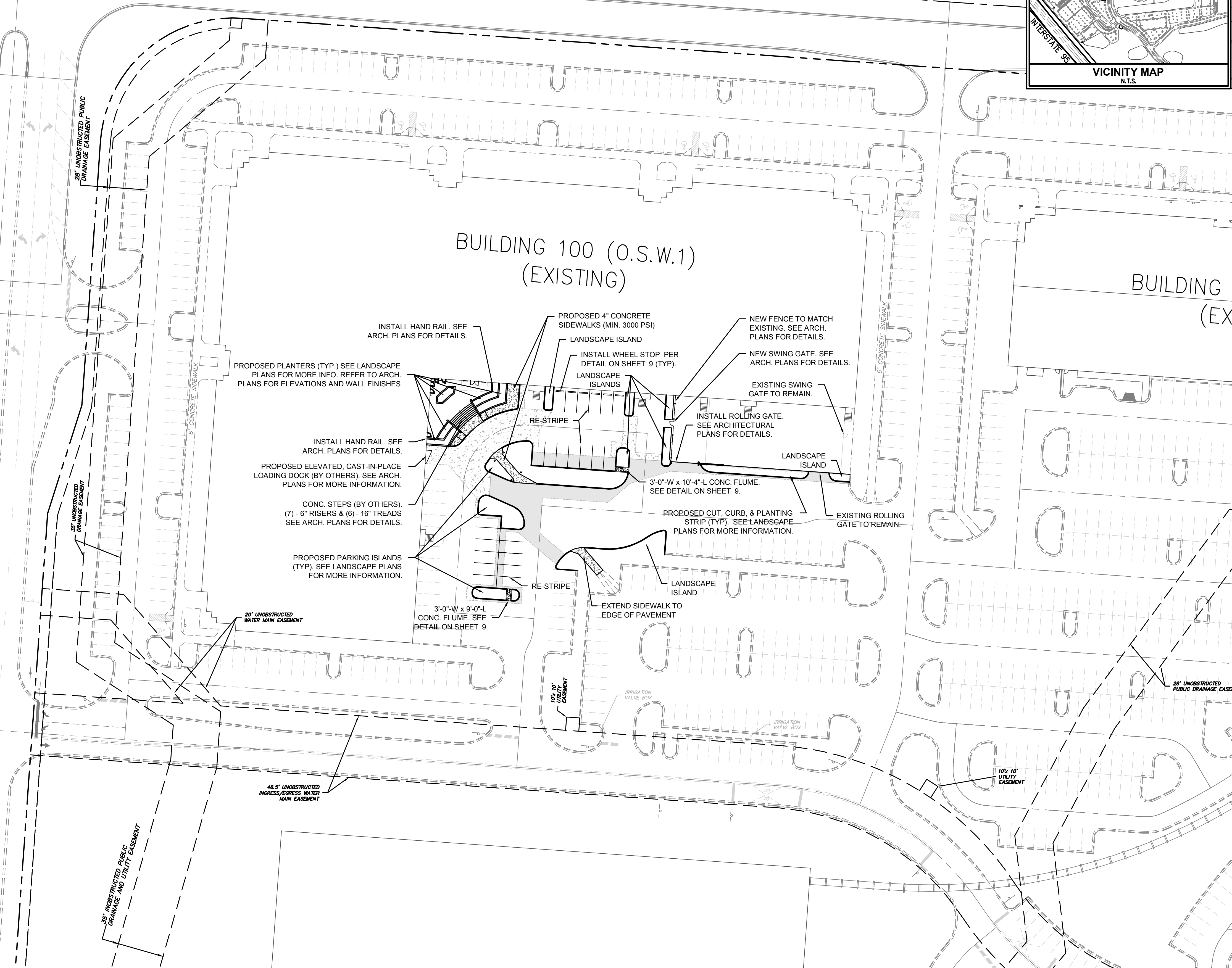
- PROJECT SUMMARY**
1. NUMBER OF ANTICIPATED PHASES: ONE
  2. TOTAL SITE AREA: 10.74 AC. +/-
  3. VEHICLE USE AREA: 5.43 AC. +/-
  4. EXISTING & PROPOSED ZONING: P.U.D.
  5. LANDUSE: MU
  6. PARKING REQUIREMENTS PER SECTION 656.604
  7. PROJECT LOCATED IN FEMA FLOOD ZONE "X"
  8. PERCENT OF BUILDING COVERAGE: 22.9%
  9. OPEN SPACE (LANDSCAPE AREA): 1.97 AC. +/-
  10. BUILDING COVERAGE: 107,019 GSF

**PARKING SUMMARY**

BUILDING 100	107,019 GSF
90% OFFICE - 96,317 GSF (4 SP/1000 GSF)	
10% WAREHOUSE - 10,702 GSF (1 SP/5000 GSF)	
<b>PARKING REQUIRED</b>	
STANDARD 9' SPACES	387 SPACES
HANDICAP SPACES	7 H/C SPACES
TOTAL REQUIRED	395 SPACES
<b>EXISTING PROVIDED PARKING</b>	
STANDARD 9' SPACES	636 SPACES
HANDICAP SPACES	7 H/C SPACES
TOTAL EX. PROVIDED	643 SPACES
<b>TOTAL PARKING PROVIDED WITH BUILDING 100 RENOVATION</b>	
STANDARD 9' SPACES	577 SPACES
HANDICAP SPACES	7 H/C SPACES
TOTAL PROVIDED	584 SPACES

**LEGEND**

	DENOTES HEAVY DUTY ASPHALT PAVEMENT
	DENOTES CONCRETE PAVEMENT



PLANS PREPARED UNDER THE DIRECTION OF:

REVISIONS:

ETM NO. 00-247-91	DRAWN BY: C.M.
DESIGNED BY: C.M.	CHECKED BY: P.P.H.
DATE: SEPTEMBER 2013	

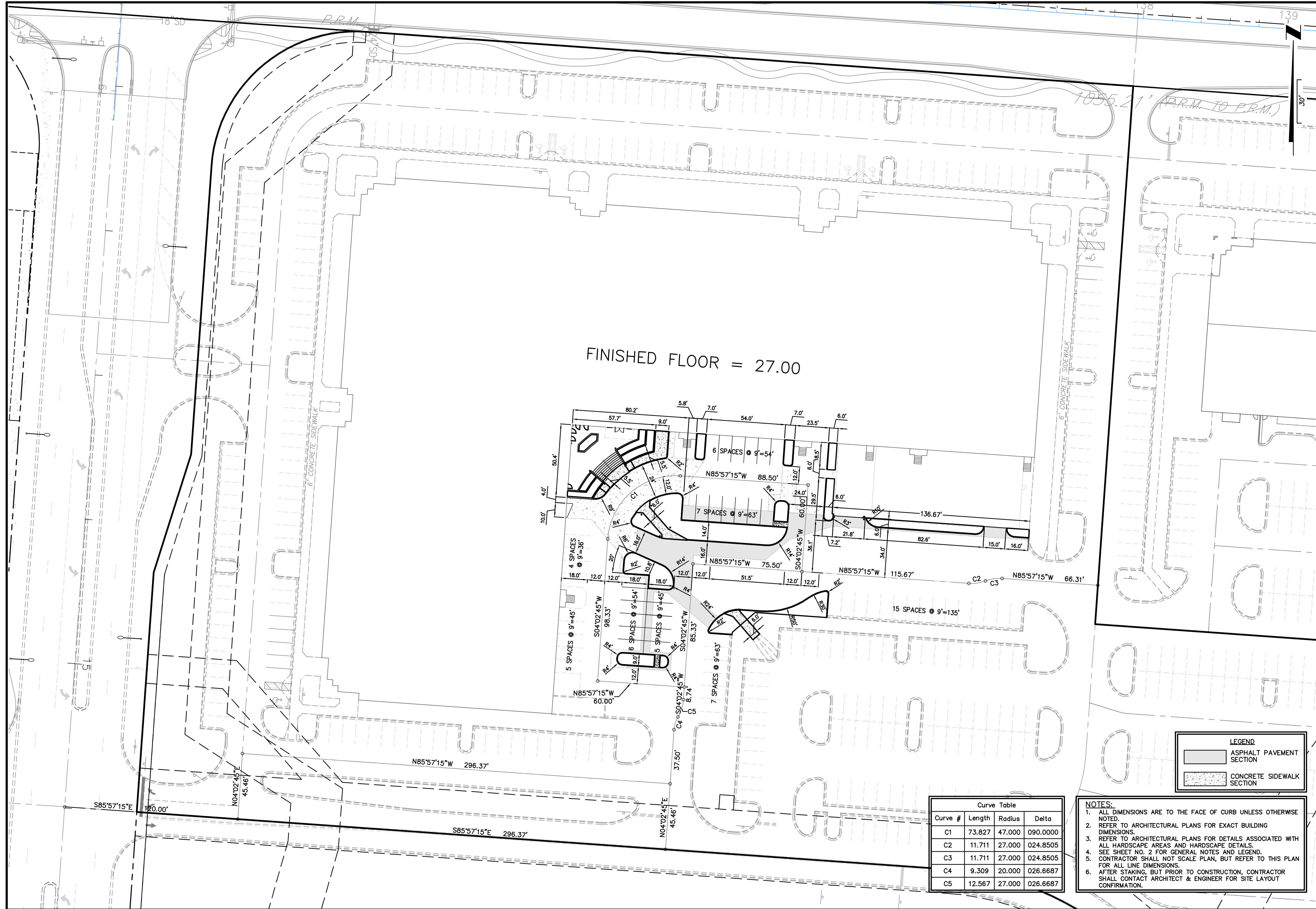
**ETM**  
England-Thims & Miller, Inc.  
14775 Old St. Augustine Road  
Jacksonville, FL 32258  
TEL: (904) 642-8990  
FAX: (904) 642-8485  
CA - 00002584 LC - 0000316

**SITE PLAN**  
BUILDING 100 RENOVATION  
FLAGLER CENTER DEVELOPMENT  
FLAGLER DEVELOPMENT

DRAWING NUMBER  
**5**

PLANNED UNDER THE DIRECTION OF:  
PAUL P. HUTCHINSON  
P.E. NUMBER: 59366

PLOTTED: October 3, 2013 - 4:22 PM, BY: Carmelo Morales



REVISIONS:

EM NO. 00-247-91	REVISIONS:
DRAWN BY: C.M.	
DESIGNED BY: C.M.	
CHECKED BY: P.P.H.	
DATE: SEPTEMBER 2013	

**Eaton & Thoms & Miller, Inc.**  
 10000 S. 1st Street  
 Jacksonville, FL 32218  
 TEL: (904) 644-8888  
 FAX: (904) 644-8888  
 CA - 0000296 LC - 0000316

**ETM**  
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**GEOMETRY PLAN**  
**BUILDING 100 RENOVATIONS**  
**FLAGLER CENTER**  
**FLAGLER DEVELOPMENT COMPANY**

DRAWING NUMBER  
**6**

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PLANNED UNDER THE DIRECTION OF:  
 PAUL P. HUTCHINSON  
 P.E. NUMBER: 59366  
 PLOTTED: October 3, 2013 - 4:22 PM, BY: Carmelo Morales

LEGEND

[Hatched Pattern]	ASPHALT PAVEMENT SECTION
[Dotted Pattern]	CONCRETE SIDEWALK SECTION

Curve Table

Curve #	Length	Radius	Delta
C1	73.827	47.000	090.0000
C2	11.711	27.000	024.8505
C3	11.711	27.000	024.8505
C4	9.309	20.000	026.6687
C5	12.567	27.000	026.6687

- NOTES:
1. ALL DIMENSIONS ARE TO THE FACE OF CURB UNLESS OTHERWISE NOTED.
  2. REFER TO ARCHITECTURAL PLANS FOR EXACT BUILDING DIMENSIONS.
  3. REFER TO ARCHITECTURAL PLANS FOR DETAILS ASSOCIATED WITH ALL HARDSCAPE AREAS AND HARDSCAPE DETAILS.
  4. SEE SHEET NO. 2 FOR GENERAL NOTES AND LEGEND.
  5. CONTRACTOR SHALL NOT SCALE PLAN, BUT REFER TO THIS PLAN FOR ALL LINE DIMENSIONS.
  6. AFTER STAKING, BUT PRIOR TO CONSTRUCTION, CONTRACTOR SHALL CONTACT ARCHITECT & ENGINEER FOR SITE LAYOUT CONFIRMATION.

**LEGEND**

--- DRAINAGE DIVIDE

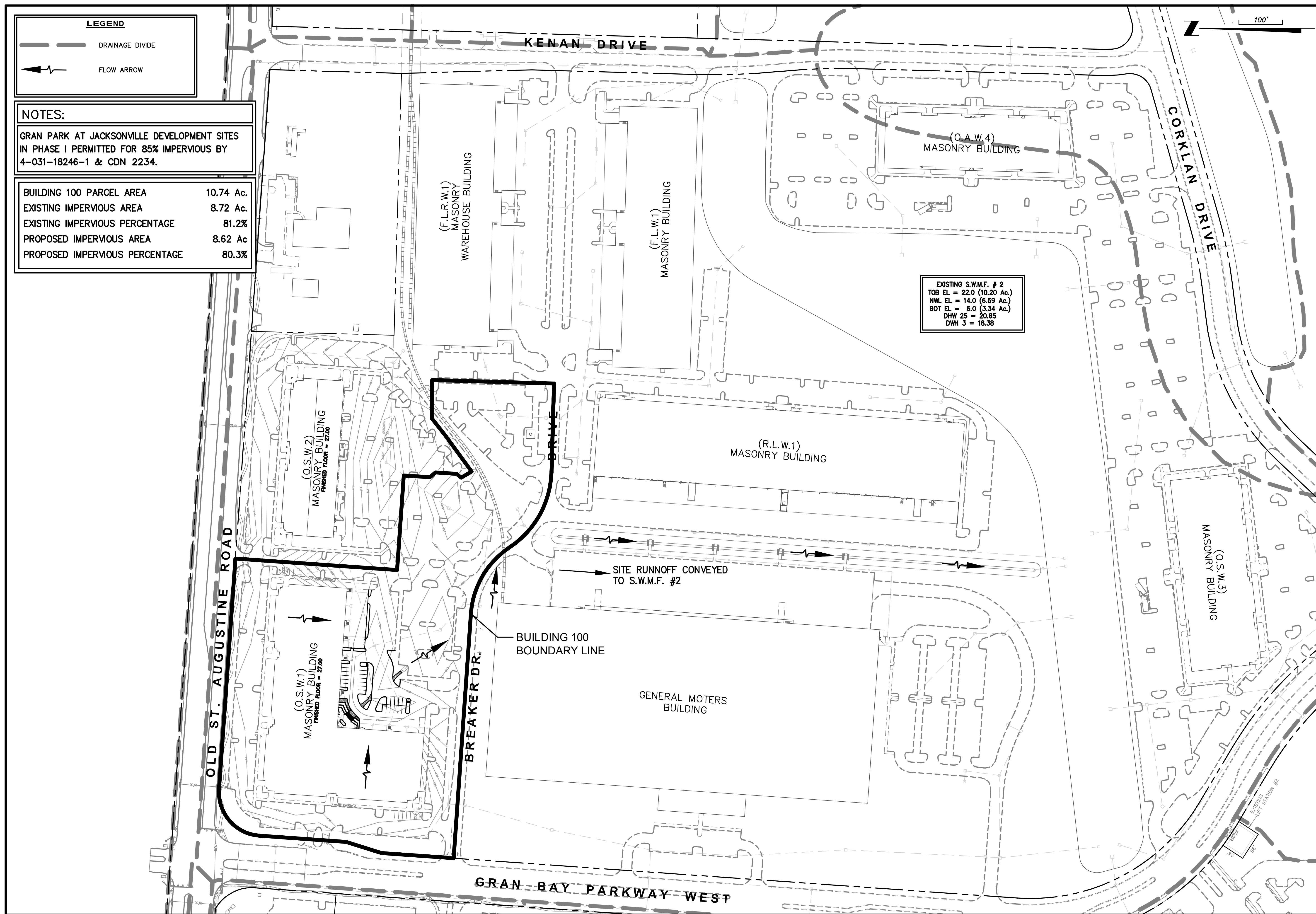
← FLOW ARROW

**NOTES:**

GRAN PARK AT JACKSONVILLE DEVELOPMENT SITES IN PHASE I PERMITTED FOR 85% IMPERVIOUS BY 4-031-18246-1 & CDN 2234.

BUILDING 100 PARCEL AREA	10.74 Ac.
EXISTING IMPERVIOUS AREA	8.72 Ac.
EXISTING IMPERVIOUS PERCENTAGE	81.2%
PROPOSED IMPERVIOUS AREA	8.62 Ac
PROPOSED IMPERVIOUS PERCENTAGE	80.3%

EXISTING S.W.M.F. # 2  
 TOP EL = 22.0 (10.20 Ac.)  
 NWL EL = 14.0 (6.69 Ac.)  
 BOT EL = 6.0 (3.34 Ac.)  
 DWH 2 = 20.65  
 DWH 3 = 18.38



PLANS PREPARED UNDER THE DIRECTION OF:  
 PAUL P. HUTCHINSON  
 P.E. NUMBER: 59366

REVISIONS:

ETM NO. 00-247-91	DESIGNED BY: C.M.	CHECKED BY: P.P.H.	DATE: SEPTEMBER 2013
DRAWN BY: C.M.	DESIGNED BY: C.M.	CHECKED BY: P.P.H.	DATE: SEPTEMBER 2013

**England, Thims & Miller, Inc.**  
 14775 Old St. Augustine Road  
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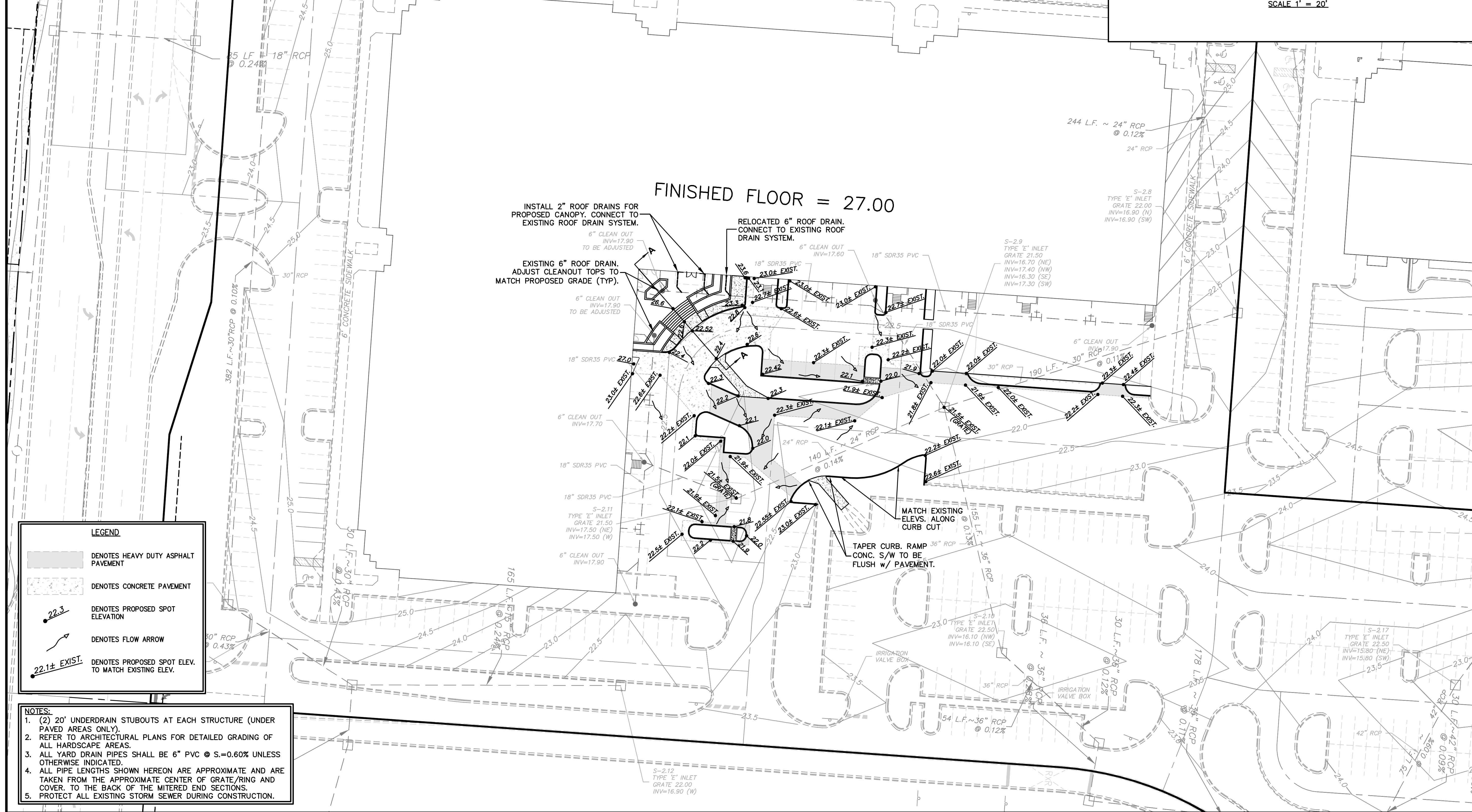
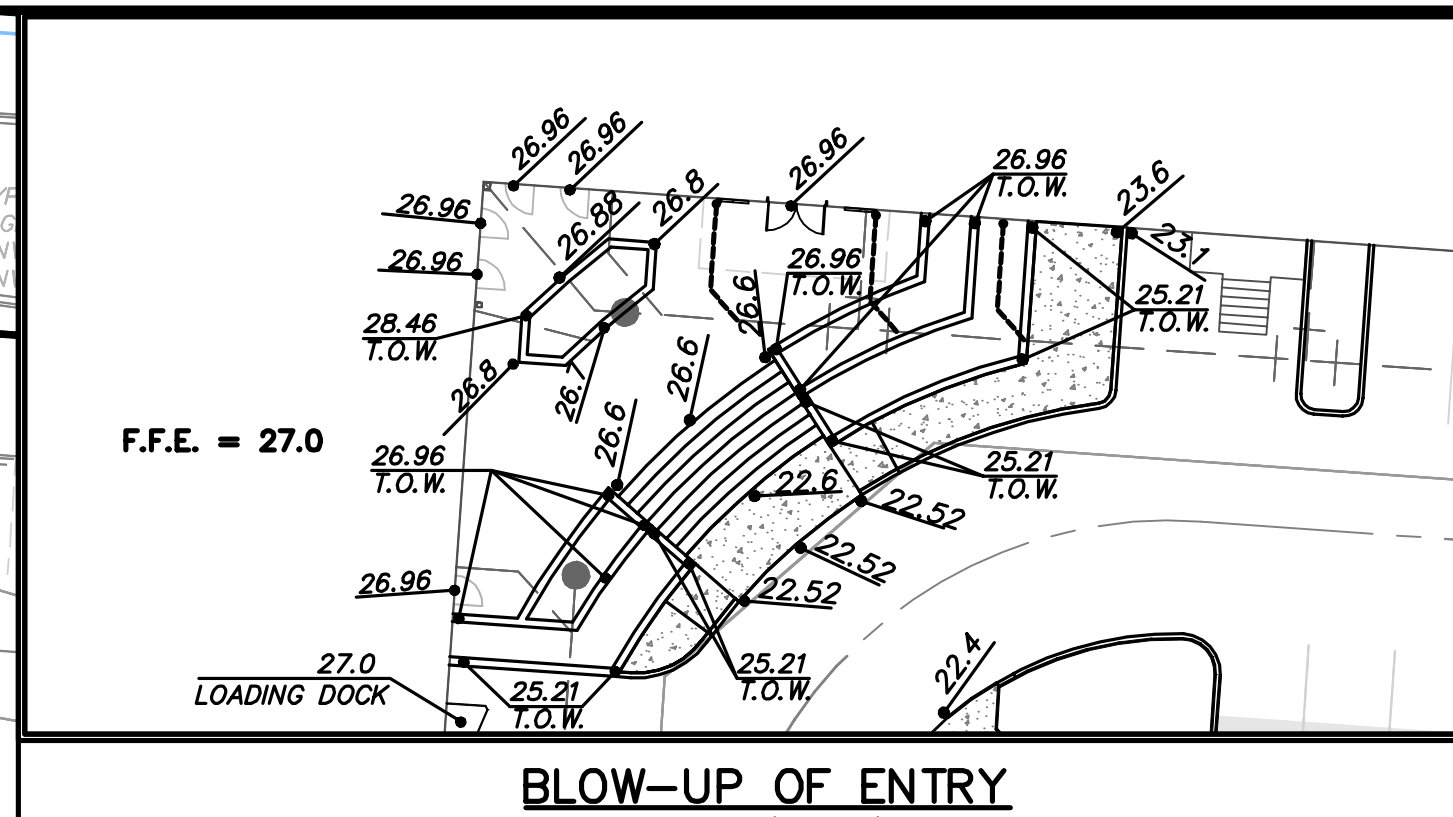
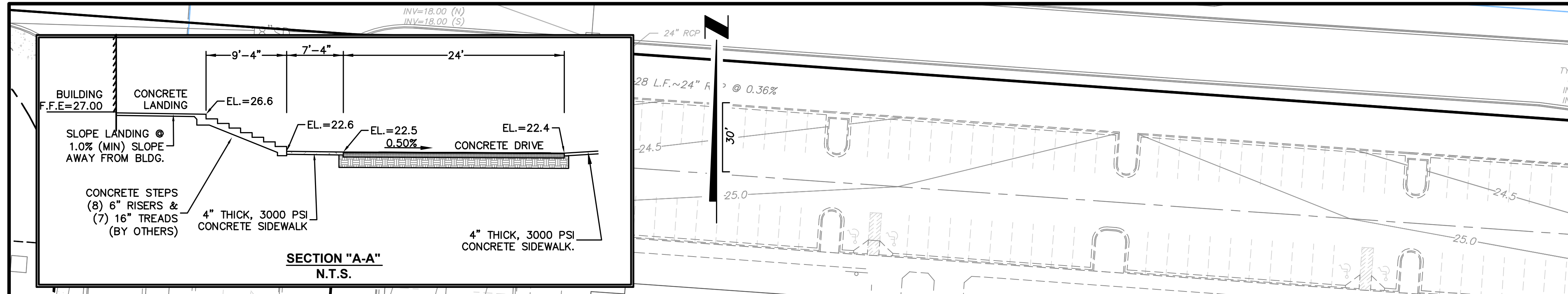
**ETM**  
 VISION • EXPERIENCE • RESULTS

**MASTER DRAINAGE PLAN**  
**BUILDING 100 RENOVATIONS**  
**FLAGLER CENTER**  
**FLAGLER DEVELOPMENT COMPANY**

DRAWING NUMBER  
**7**

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PLOTTED: October 3, 2013 - 4:22 PM, BY: Cornejo Morales



**LEGEND**

	DENOTES HEAVY DUTY ASPHALT PAVEMENT
	DENOTES CONCRETE PAVEMENT
	DENOTES PROPOSED SPOT ELEVATION
	DENOTES FLOW ARROW
	DENOTES PROPOSED SPOT ELEV. TO MATCH EXISTING ELEV.

- NOTES:**
- (2) 20' UNDERDRAIN STUBOUTS AT EACH STRUCTURE (UNDER PAVED AREAS ONLY).
  - REFER TO ARCHITECTURAL PLANS FOR DETAILED GRADING OF ALL HARDSCAPE AREAS.
  - ALL YARD DRAIN PIPES SHALL BE 6" PVC @ S.=0.60% UNLESS OTHERWISE INDICATED.
  - ALL PIPE LENGTHS SHOWN HEREON ARE APPROXIMATE AND ARE TAKEN FROM THE APPROXIMATE CENTER OF GRATE/RING AND COVER, TO THE BACK OF THE MITERED END SECTIONS.
  - PROTECT ALL EXISTING STORM SEWER DURING CONSTRUCTION.

PLANS PREPARED UNDER THE DIRECTION OF:

PAUL P. HUTCHINSON  
P.E. NUMBER: 59366

REVISIONS:

ETM NO. 00-247-91	DESIGNED BY: C.M.	CHECKED BY: P.P.H.	DATE: SEPTEMBER 2013
DRAWN BY: C.M.	DESIGNED BY: C.M.	CHECKED BY: P.P.H.	DATE: SEPTEMBER 2013

**England-Thims & Miller, Inc.**  
14775 Old St. Augustine Road  
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**ETM**  
VISION • EXPERIENCE • RESULTS

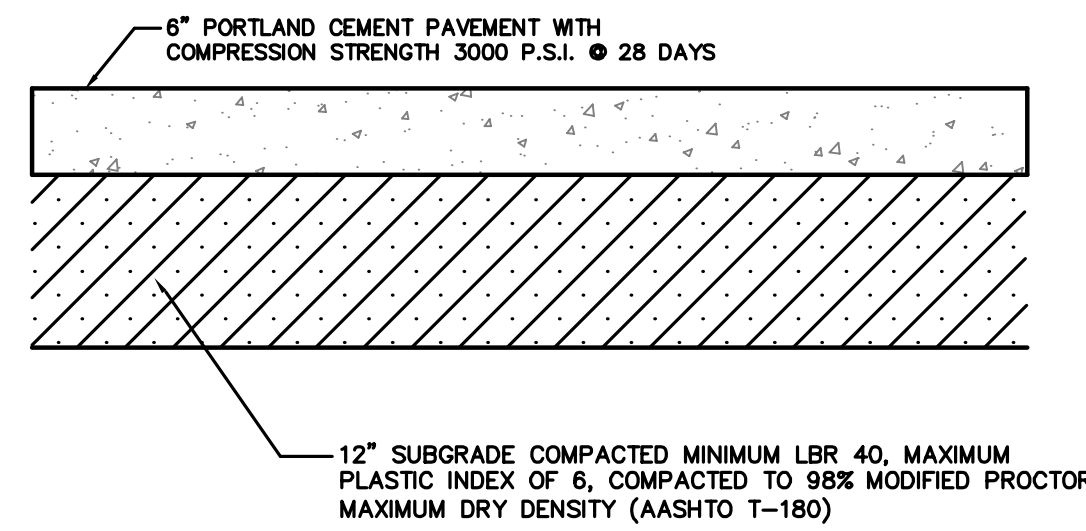
**PAVING AND DRAINAGE PLAN**  
**BUILDING 100 RENOVATIONS**  
**FLAGLER CENTER**  
**FLAGLER DEVELOPMENT COMPANY**

DRAWING NUMBER  
**108**

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PLOTTED: October 3, 2013 - 4:23 PM, BY: Carmelo Morales



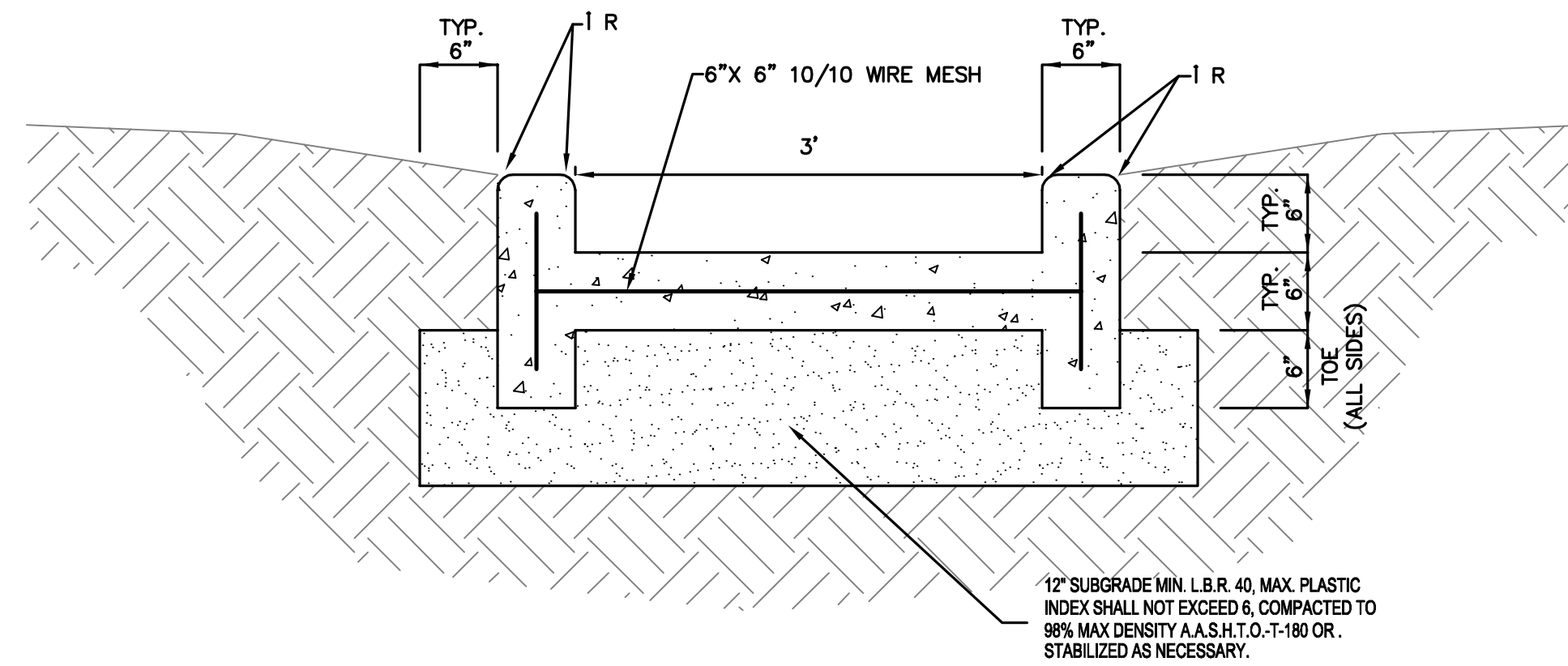


NOTE:  
ALL DISTURBED AREAS SHALL BE SEEDED AND MULCHED.

**TYPICAL CONCRETE PAVEMENT SECTION**

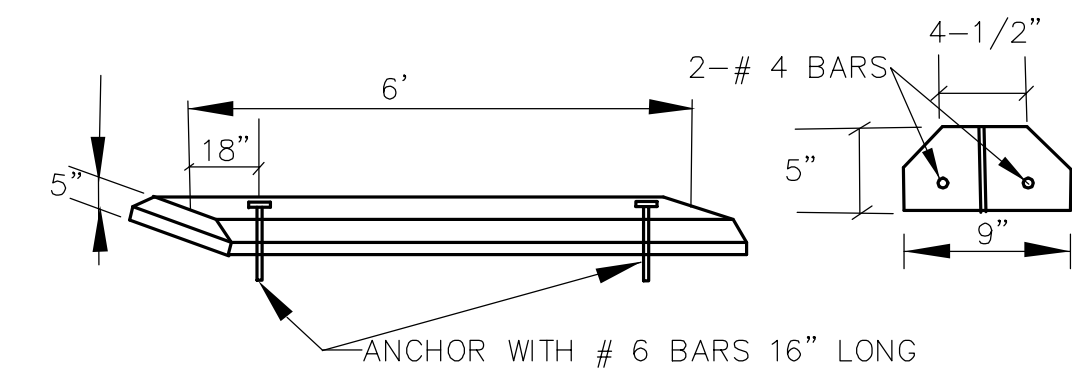
N.T.S.

NOTE:  
STEEL MESH NOT TO BE USED ON CITY PROPERTY.



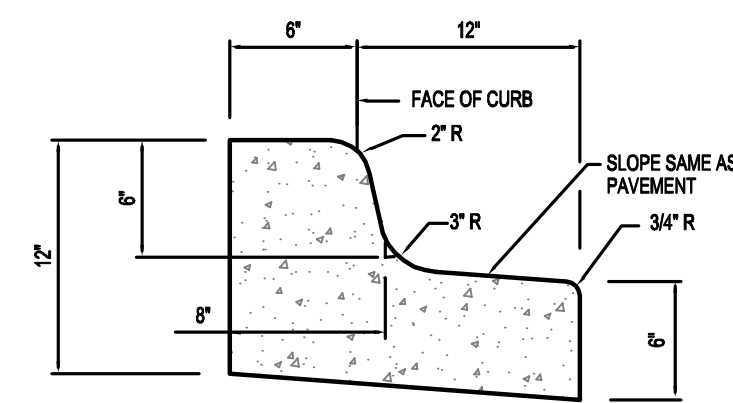
**FLUME DETAIL**

N.T.S.



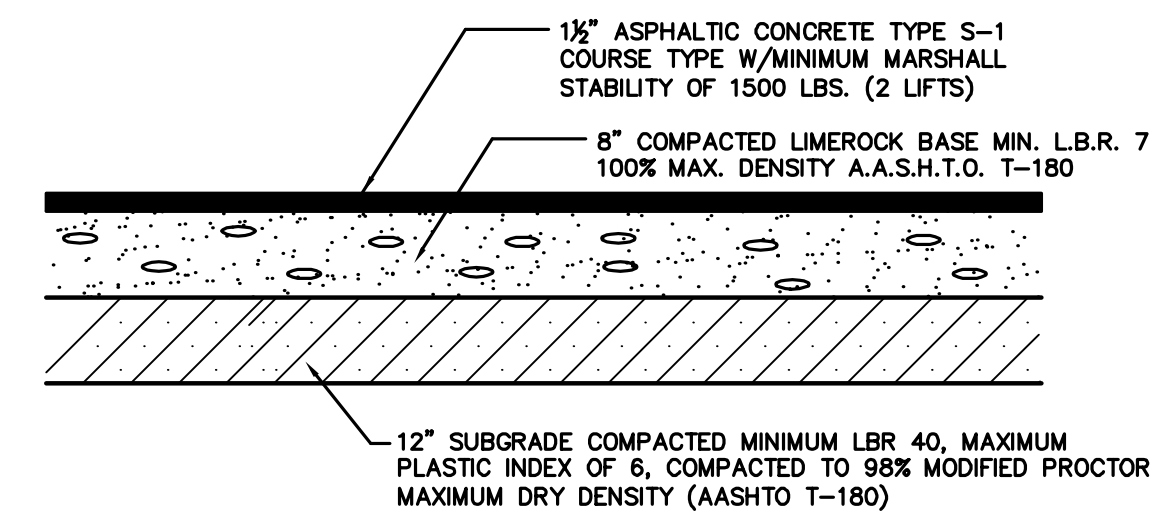
**PRE-FABRICATED WHEEL STOP**

NOTE:  
FOR ALL STANDARD DETAILS, SEE CITY OF JACKSONVILLE STANDARD SPECIFICATIONS AND DETAILS, LATEST REVISIONS.



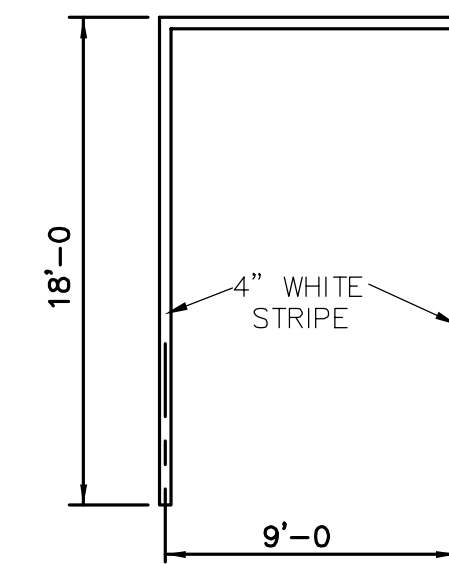
**TYPE "C" CURB AND GUTTER ROADWAY AND CAR PARKING AREAS**

N.T.S.



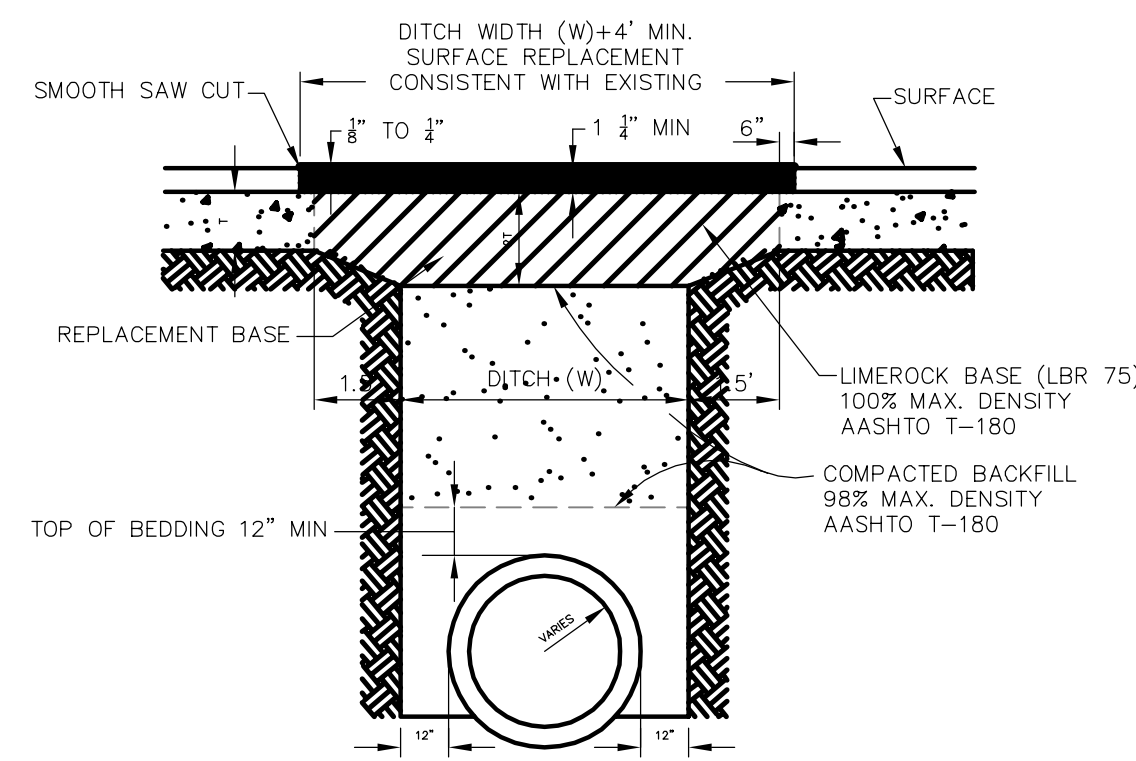
**HEAVY DUTY ASPHALT PAVEMENT SECTION**

N.T.S.



**PARKING SPACE STRIPING DETAIL**

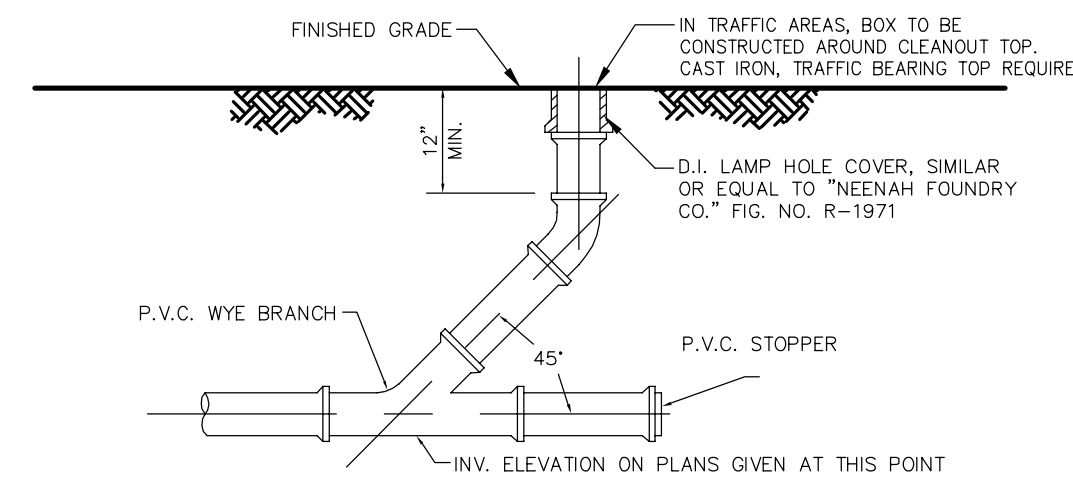
N.T.S.



**PAVEMENT REPAIR**

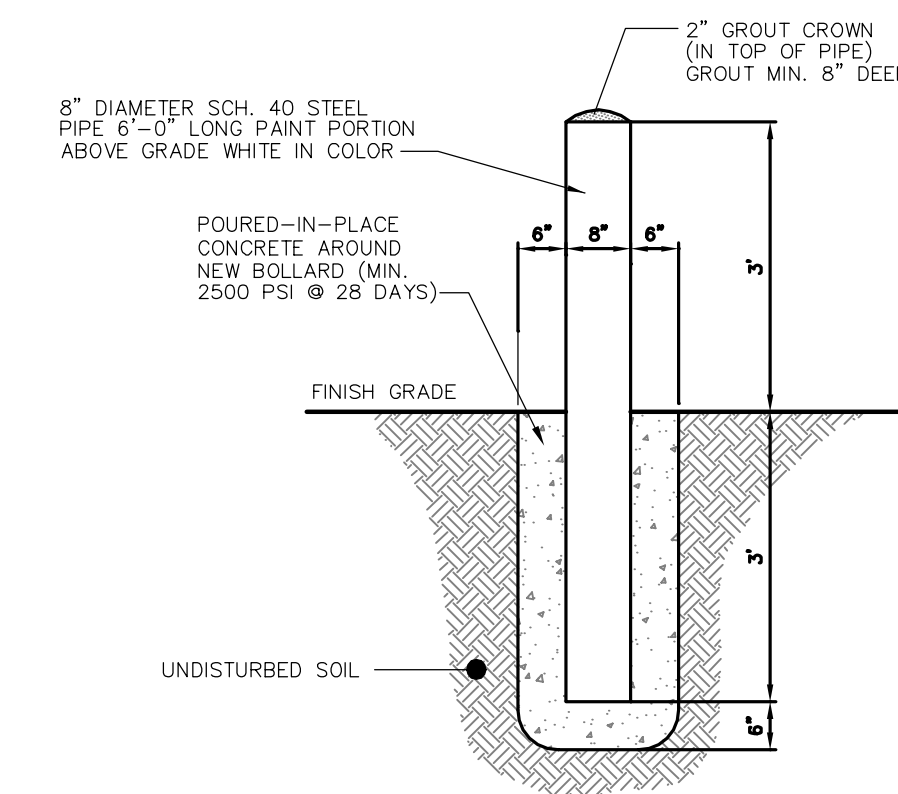
N.T.S.

NOTE: IN SOME CASES PORTLAND CEMENT CONCRETE MAY BE CONSIDERED OR REQUIRED BY CITY ENGINEER FOR SURFACE REPLACEMENT.



**CLEAN OUT**

N.T.S.



**8" PROTECTIVE BOLLARD**

N.T.S.

**PAVING AND DRAINAGE DETAILS**

**BUILDING 100 RENOVATIONS**

**FLAGLER CENTER**

**FLAGLER DEVELOPMENT COMPANY**

DRAWING NUMBER

**19**

ETM NO. 00-247-91

DRAWN BY: C.M.

DESIGNED BY: C.M.

CHECKED BY: P.P.H.

DATE: SEPTEMBER 2013

England, Thims & Miller, Inc.

14775 Old St. Augustine Road

Jacksonville, FL 32226

TEL: (904) 642-8900

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**ETM**

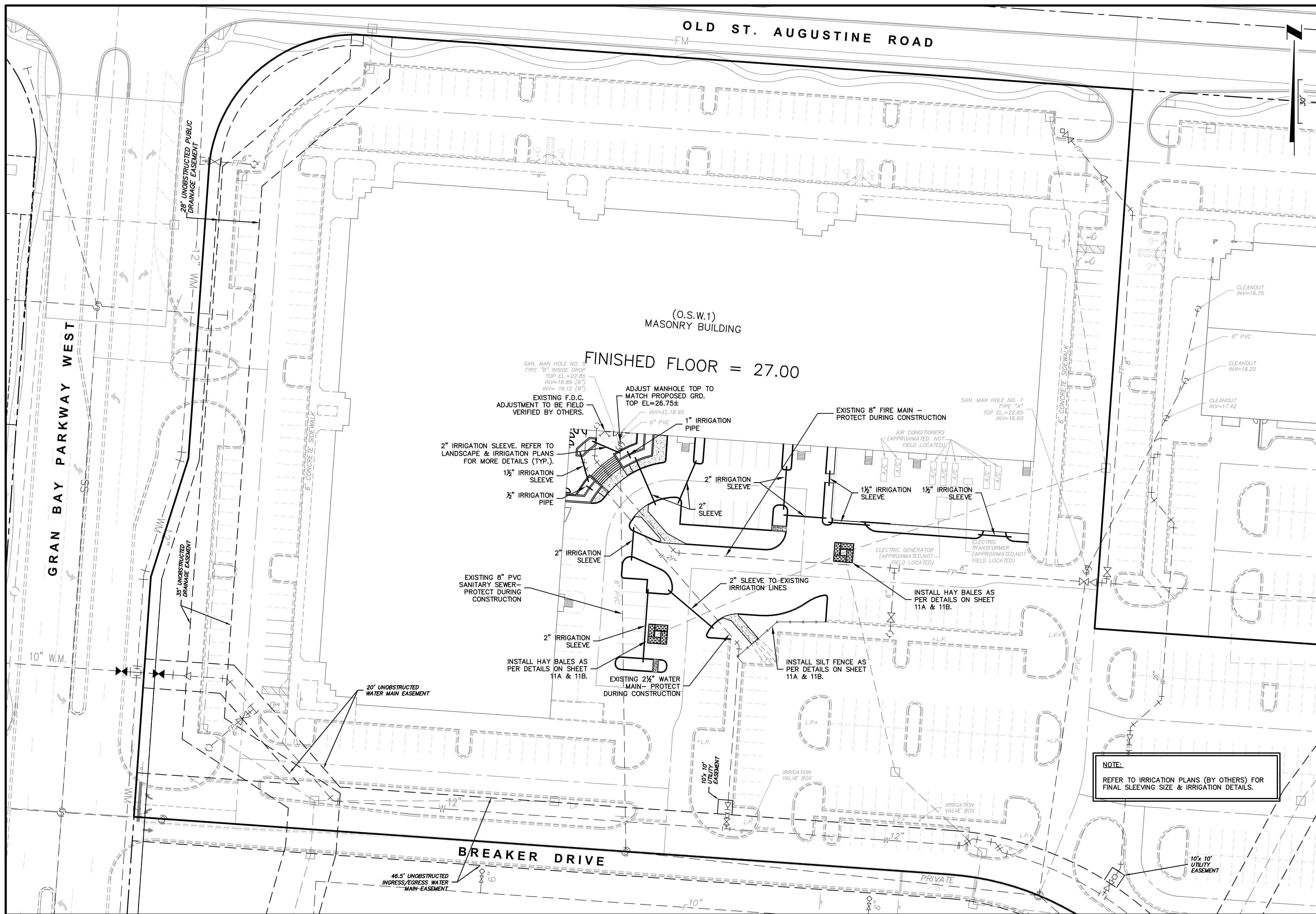
VISION • EXPERIENCE • RESULTS

PLANS PREPARED UNDER THE DIRECTION OF:

PAUL P. HUTCHINSON

P.E. NUMBER: 59366

PLOTTED: October 3, 2013 - 4:23 PM, By: Carmelo Morales



**UTILITY & SEDIMENT EROSION CONTROL PLAN**

**BUILDING 100 RENOVATIONS  
FLAGLER CENTER  
FLAGLER DEVELOPMENT COMPANY**

---

ETM  
VISION • EXPERIENCE • RESULTS

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England-Thims & Miller, Inc.  
14775 Old St. Augustine Road  
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FAX: (904) 646-9465  
CA - 0002984 LC - 0000316

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REVISIONS:

ETM NO. 00-247-91	DESIGNED BY: C.M.	CHECKED BY: P.P.H.	DATE: SEPTEMBER 2013
DRAWN BY: C.M.	DESIGNED BY: C.M.	CHECKED BY: P.P.H.	DATE: SEPTEMBER 2013

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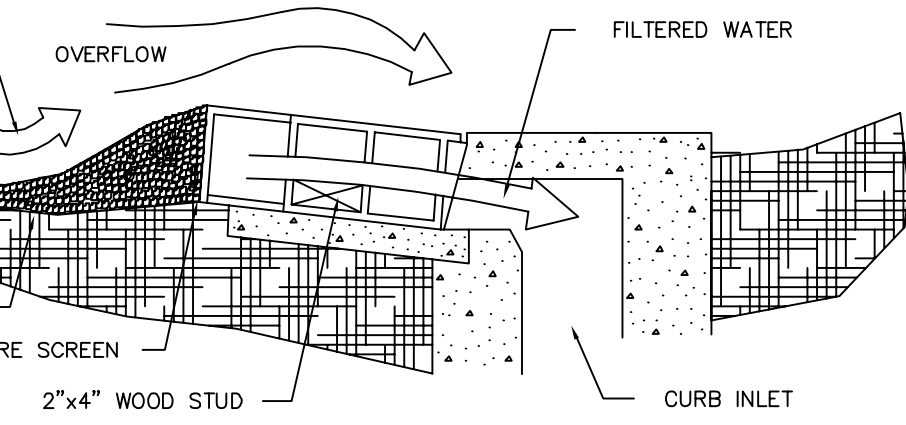
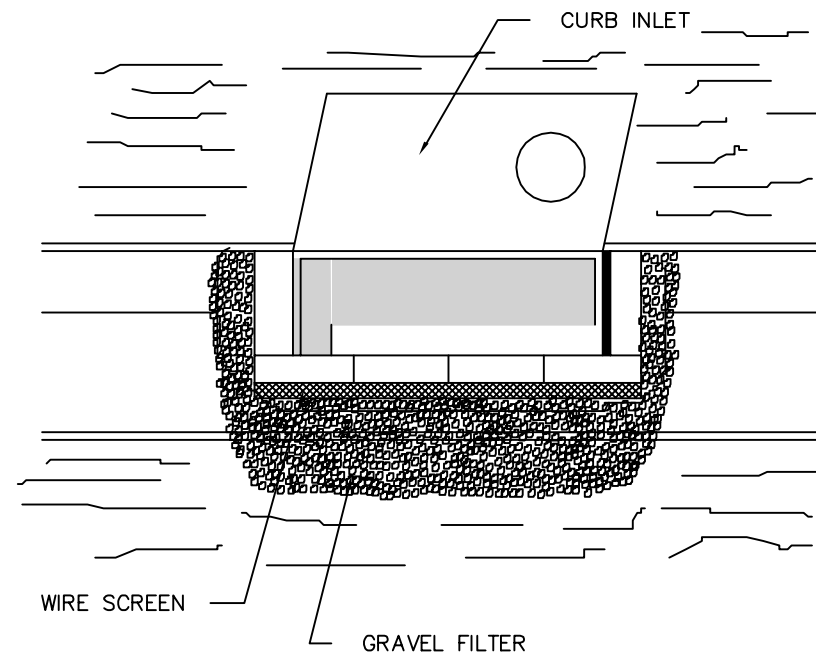
PLANS PREPARED UNDER THE DIRECTION OF:  
PAUL P. HUTCHINSON  
P.E. NUMBER: 59366

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PLOTTED: October 3, 2013 - 4:23 PM, BY: Carmelo Morales

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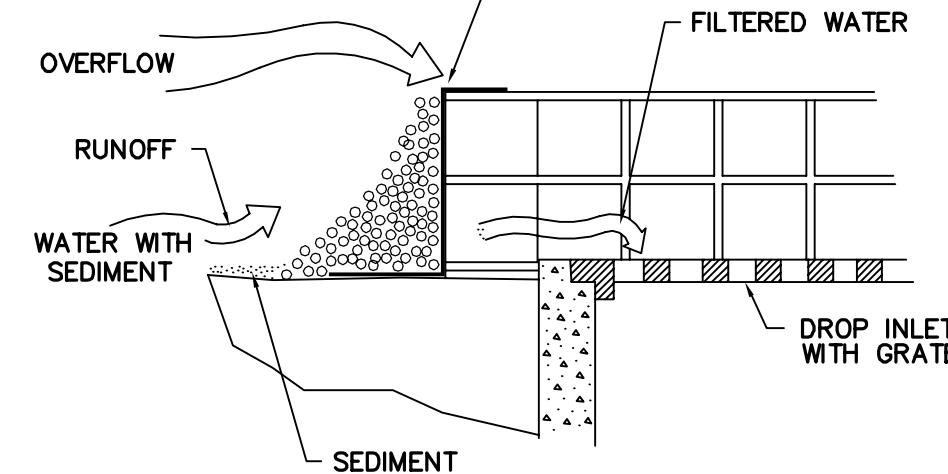
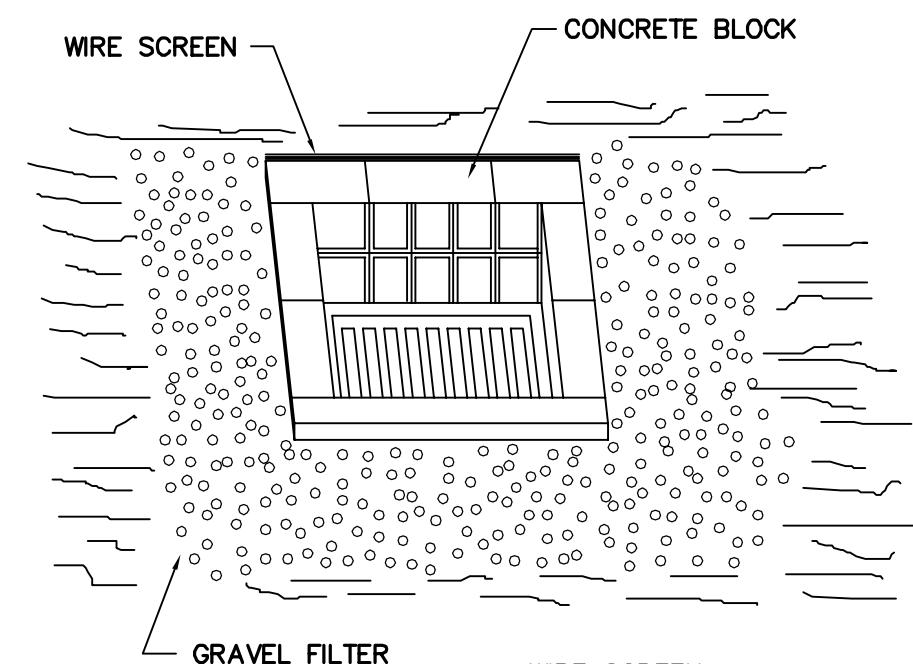
DRAWING NUMBER  
**10**



**SPECIFIC APPLICATION**  
THIS METHOD OF INLET PROTECTION IS APPLICABLE AT CURB INLETS WHERE AN OVERFLOW CAPABILITY IS NECESSARY TO PREVENT EXCESSIVE PONDING IN FRONT OF THE STRUCTURE.

**BLOCK & GRAVEL CURB INLET SEDIMENT FILTER**

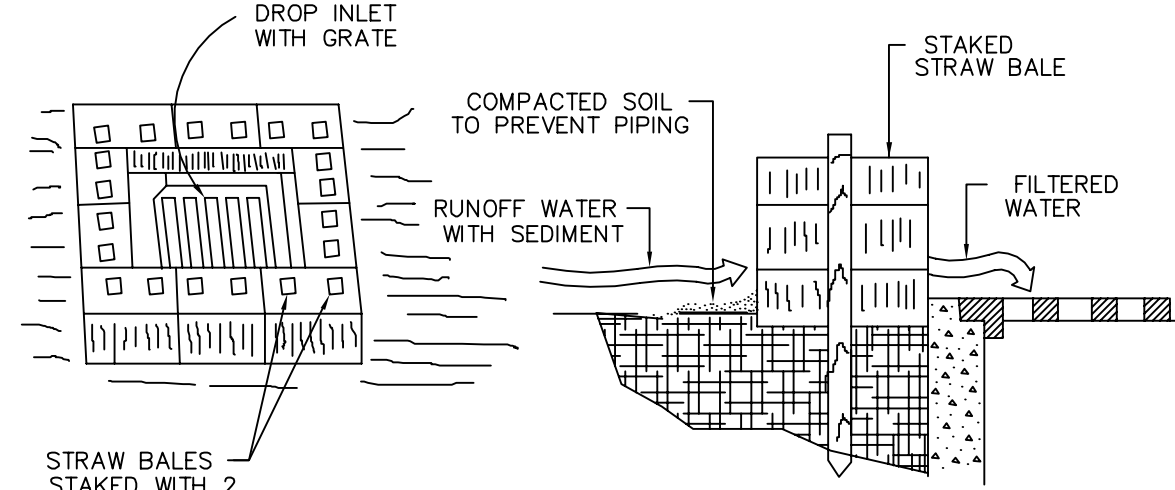
(D-902)  
N.T.S.



**SPECIFIC APPLICATION**  
THIS METHOD OF INLET PROTECTION IS APPLICABLE WHERE HEAVY FLOWS ARE EXPECTED AND WHERE AN OVERFLOW CAPACITY IS NECESSARY TO PREVENT EXCESSIVE PONDING AROUND THE STRUCTURE.

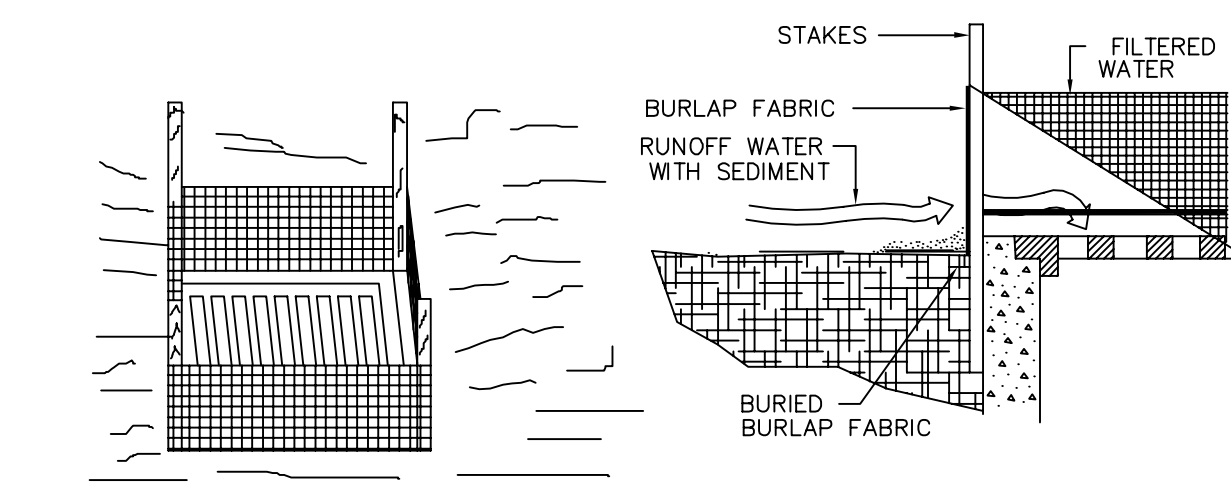
**BLOCK & GRAVEL DROP INLET SEDIMENT FILTER**

(D-904)  
N.T.S.



**HAY BALE SEDIMENT FILTER**

**SPECIFIC APPLICATION**  
THIS METHOD OF INLET PROTECTION IS APPLICABLE WHERE THE INLET DRAINS A RELATIVELY FLAT AREA (SLOPES NO GREATER THAN 5 PERCENT) WHERE SHEET OR OVERLAND FLOWS (NOT EXCEEDING 0.5 cfs) ARE TYPICAL. THE METHOD SHALL NOT APPLY TO INLETS RECEIVING CONCENTRATED FLOWS, SUCH AS IN STREET OR HIGHWAY MEDIANS.

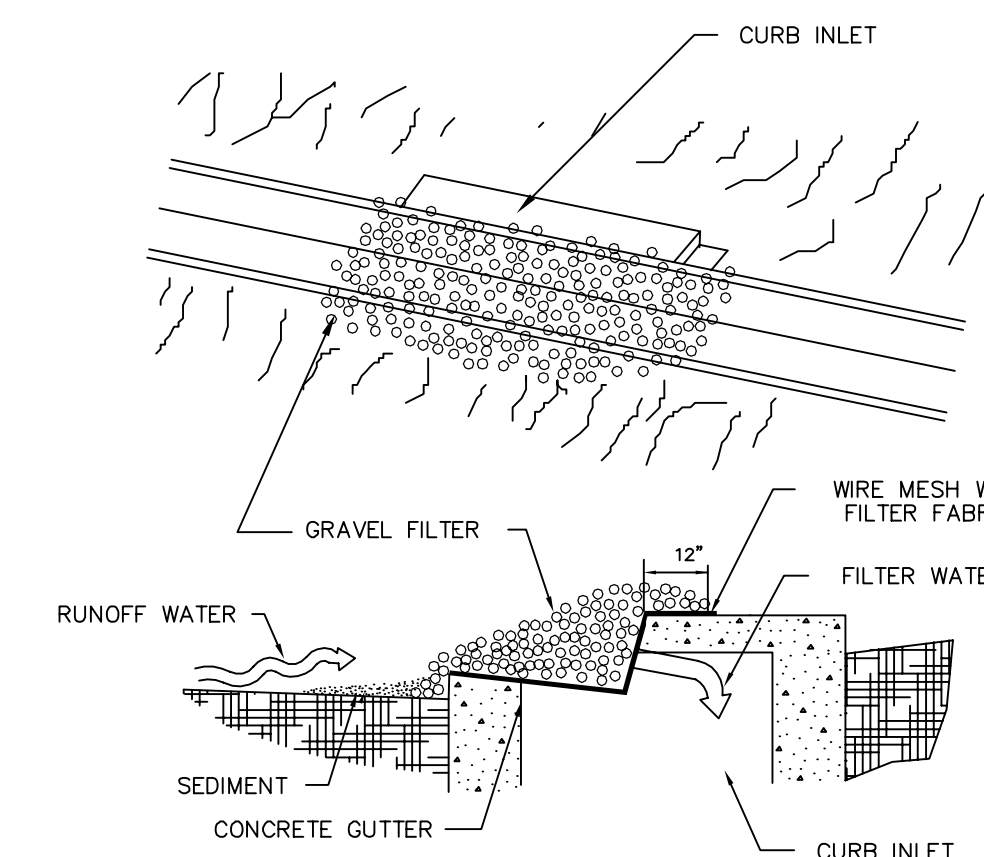


**FABRIC SEDIMENT FILTER**

**SPECIFIC APPLICATION**  
THIS METHOD OF INLET PROTECTION IS APPLICABLE WHERE THE INLET DRAINS A RELATIVELY FLAT AREA (SLOPES NO GREATER THAN 5 PERCENT) WHERE SHEET OR OVERLAND FLOWS (NOT EXCEEDING 0.5 cfs) ARE TYPICAL. THE METHOD SHALL NOT APPLY TO INLETS RECEIVING CONCENTRATED FLOWS, SUCH AS IN STREET OR HIGHWAY MEDIANS.

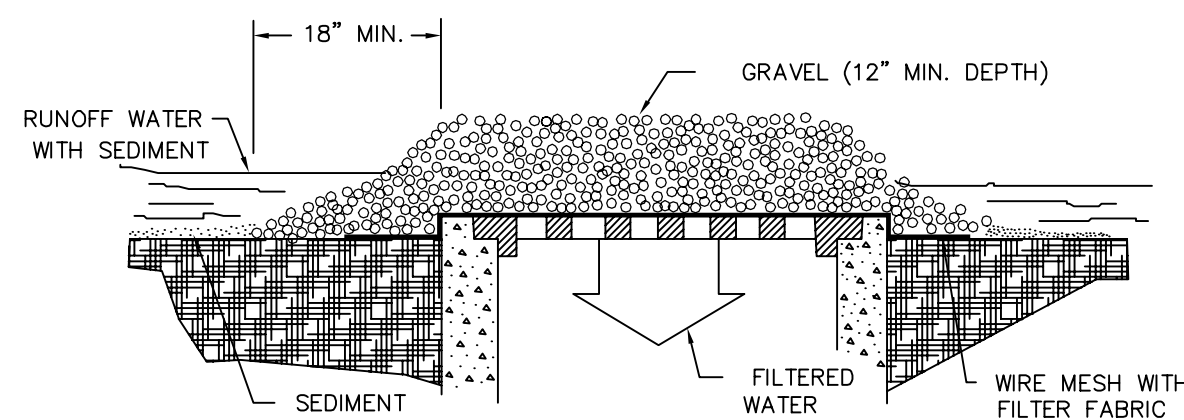
**DROP INLET SEDIMENT TRAP**

(D-905)  
N.T.S.



**SPECIFIC APPLICATION**  
THIS METHOD OF INLET PROTECTION IS APPLICABLE AT CURB INLETS WHERE PONDING IN FRONT OF THE STRUCTURE IS NOT LIKELY TO CAUSE INCONVENIENCE OR DAMAGE TO ADJACENT STRUCTURES AND UNPROTECTED AREAS.

**GRAVEL CURB INLET SEDIMENT FILTER**



**SPECIFIC APPLICATION**  
THIS METHOD OF INLET PROTECTION IS APPLICABLE WHERE HEAVY CONCENTRATED FLOWS ARE EXPECTED, BUT NOT WHERE PONDING AROUND THE STRUCTURE MIGHT CAUSE EXCESSIVE INCONVENIENCE OR DAMAGE TO ADJACENT STRUCTURES AND UNPROTECTED AREAS.

**GRAVEL INLET SEDIMENT TRAP**

(D-903)  
N.T.S.

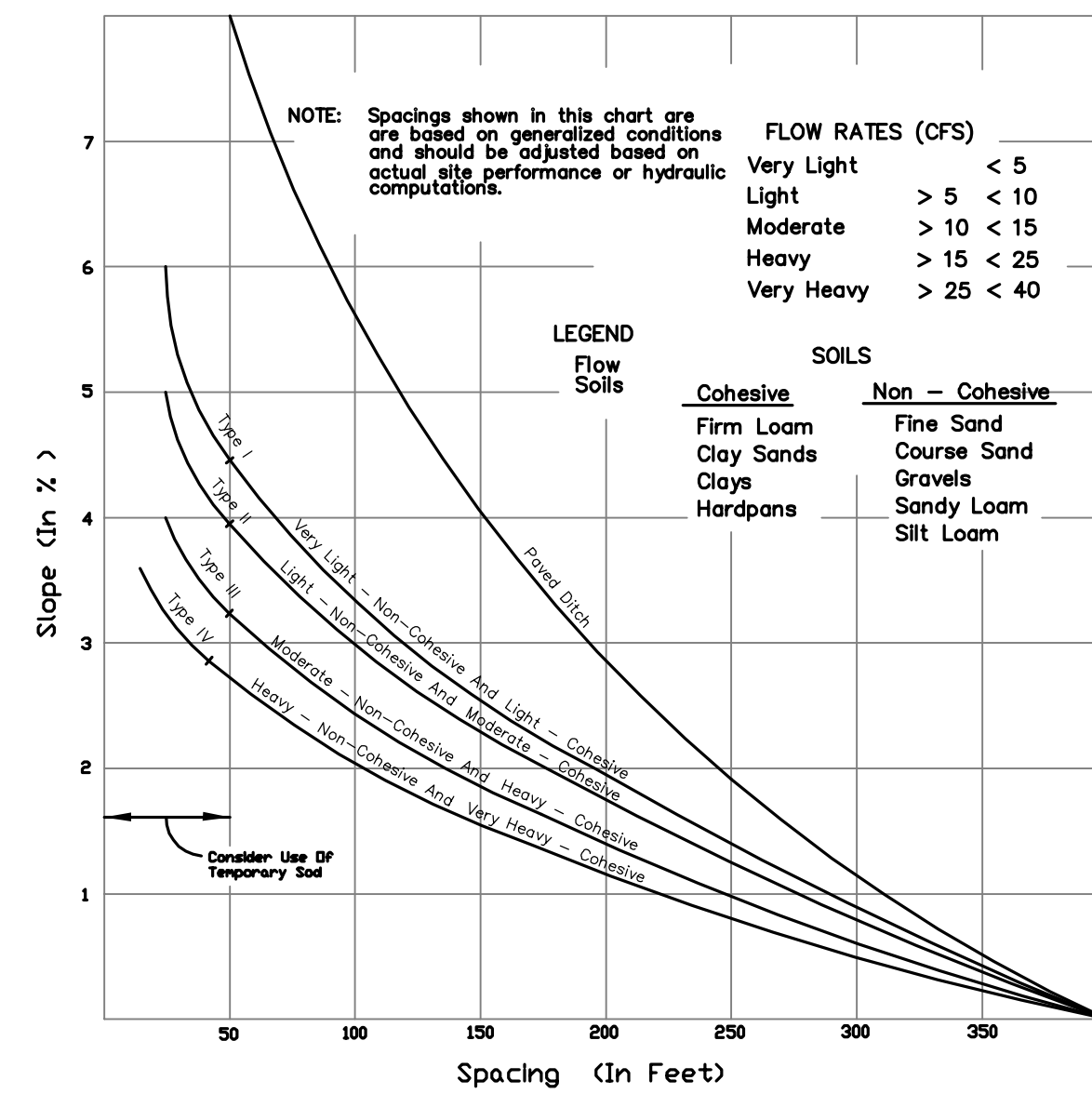
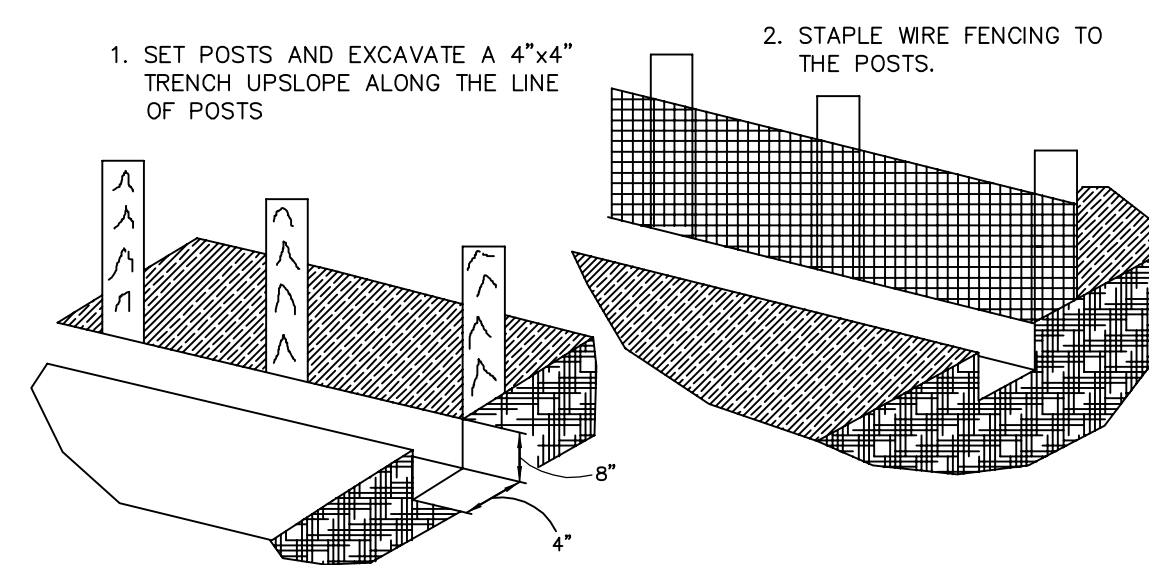


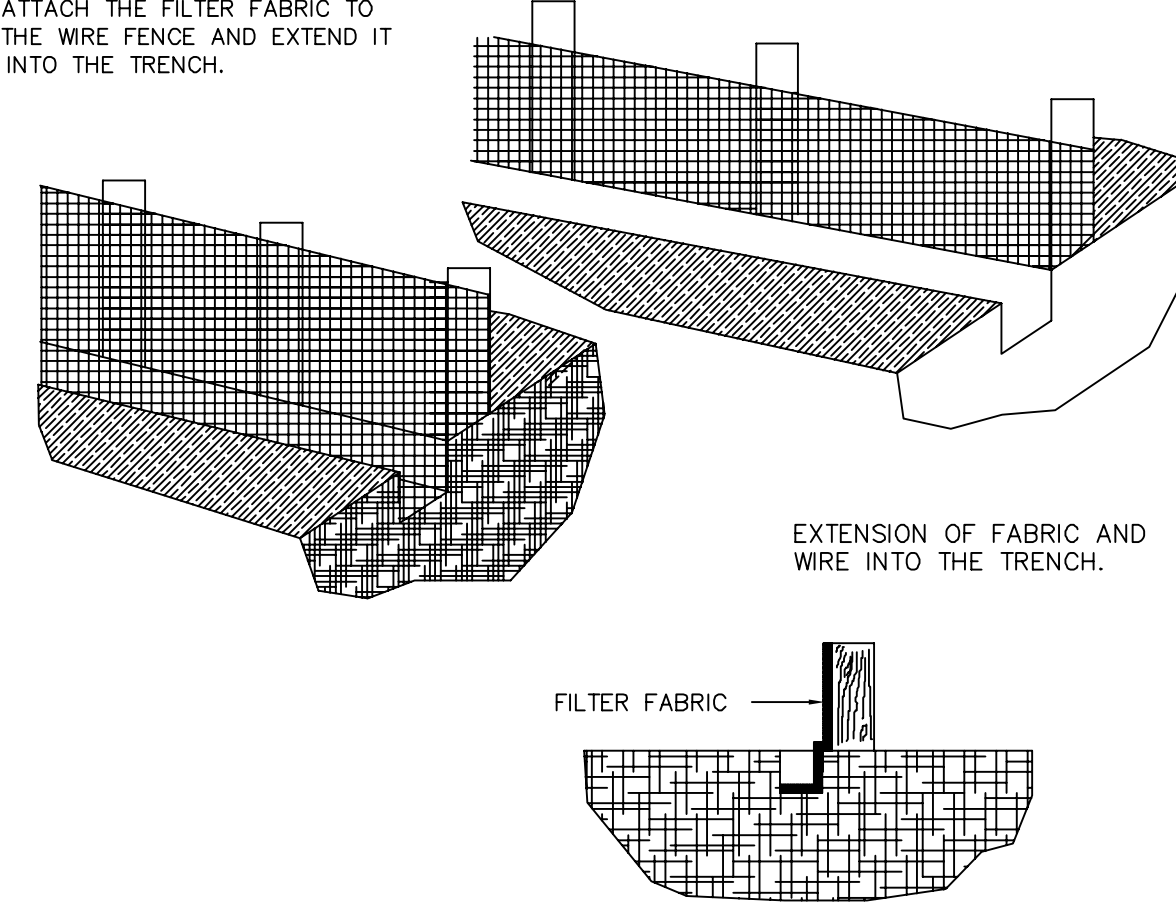
CHART I  
RECOMMENDED SPACING FOR TYPE I AND TYPE II HAY BALE BARRIERS, AND TYPE III AND TYPE IV SILT FENCES AND PAVED DITCH HAY BALE BARRIERS

**SPACING RECOMMENDATION FOR SILT FENCES & HAY BALES**

(D-906)  
N.T.S.

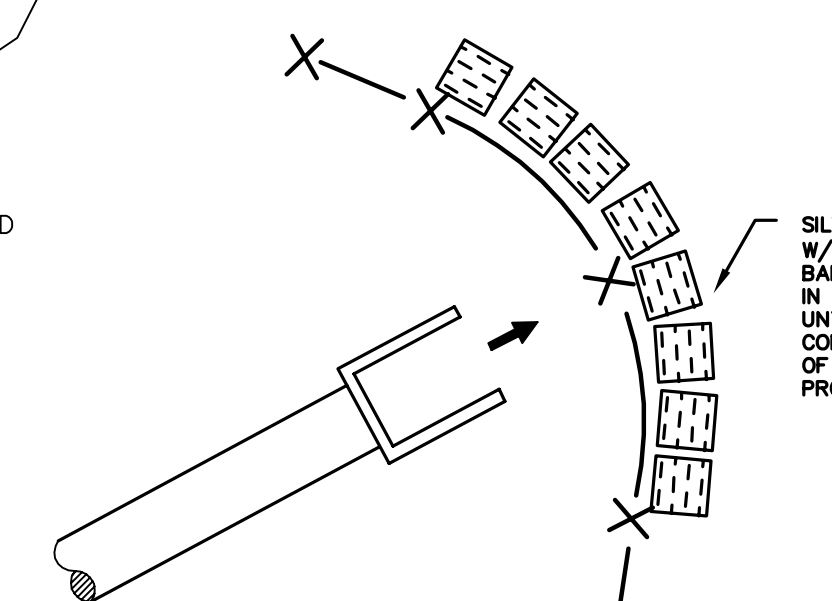


1. SET POSTS AND EXCAVATE A 4"x4" TRENCH UPSLOPE ALONG THE LINE OF POSTS  
2. STAPLE WIRE FENCING TO THE POSTS.



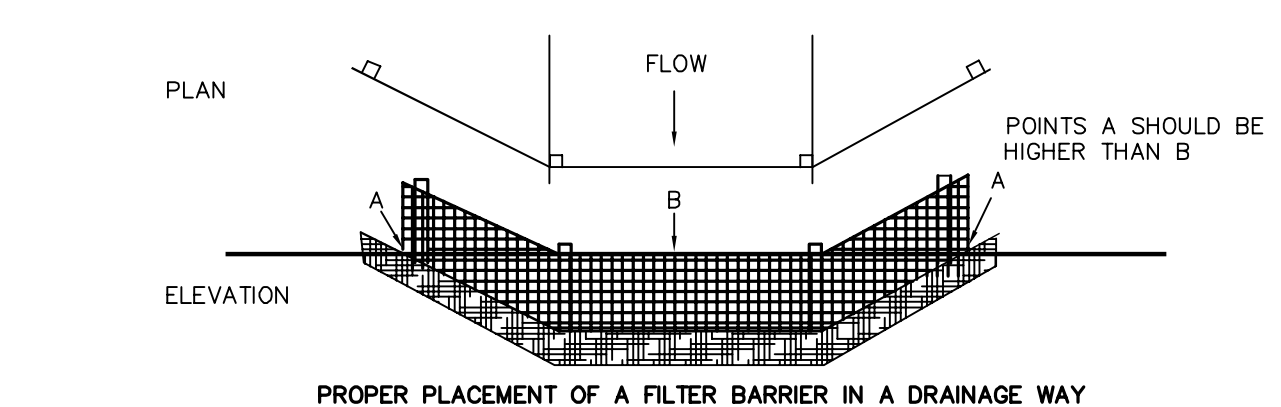
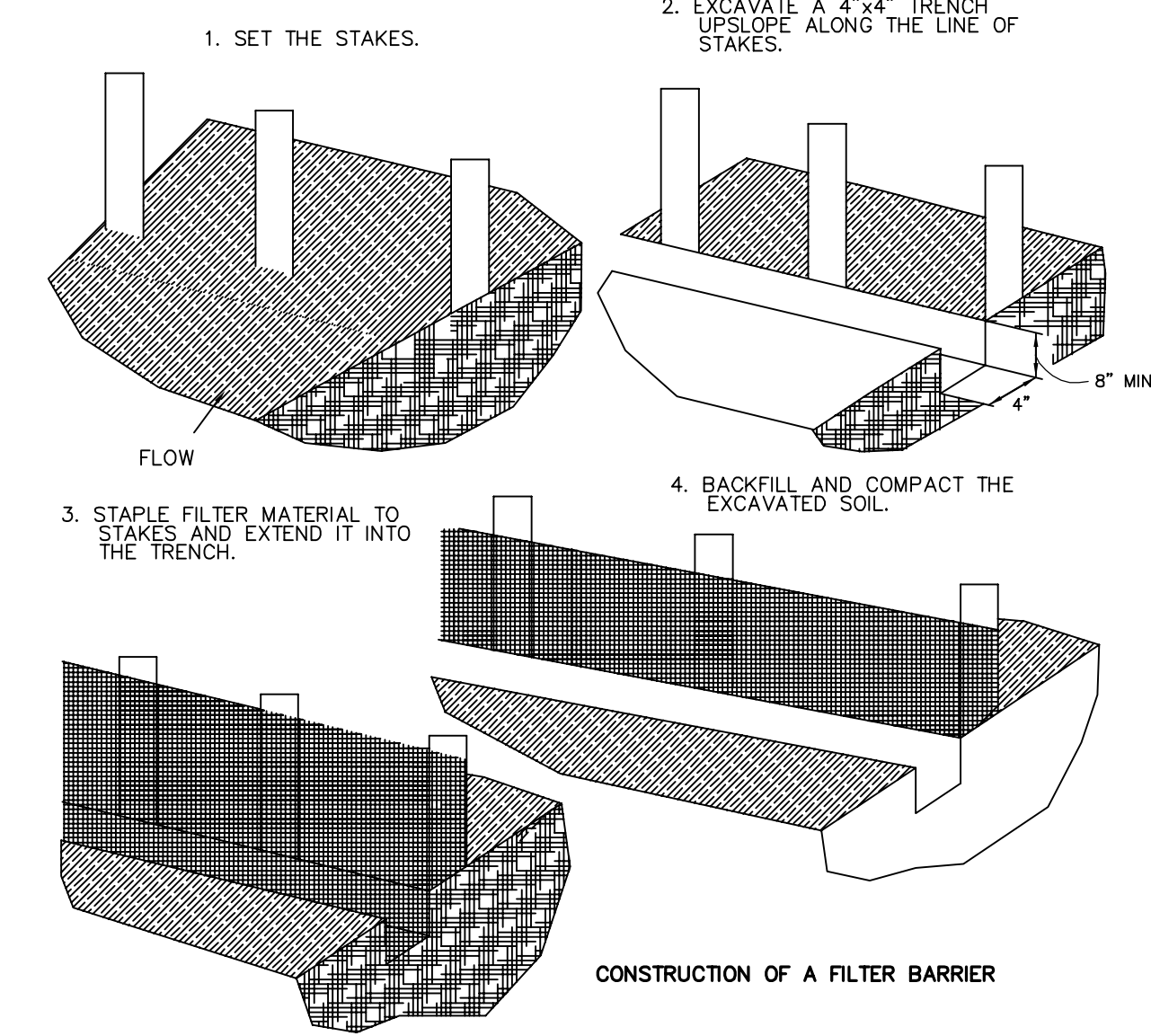
**CONSTRUCTION DETAILS FOR SILT FENCES**

(D-909)  
N.T.S.



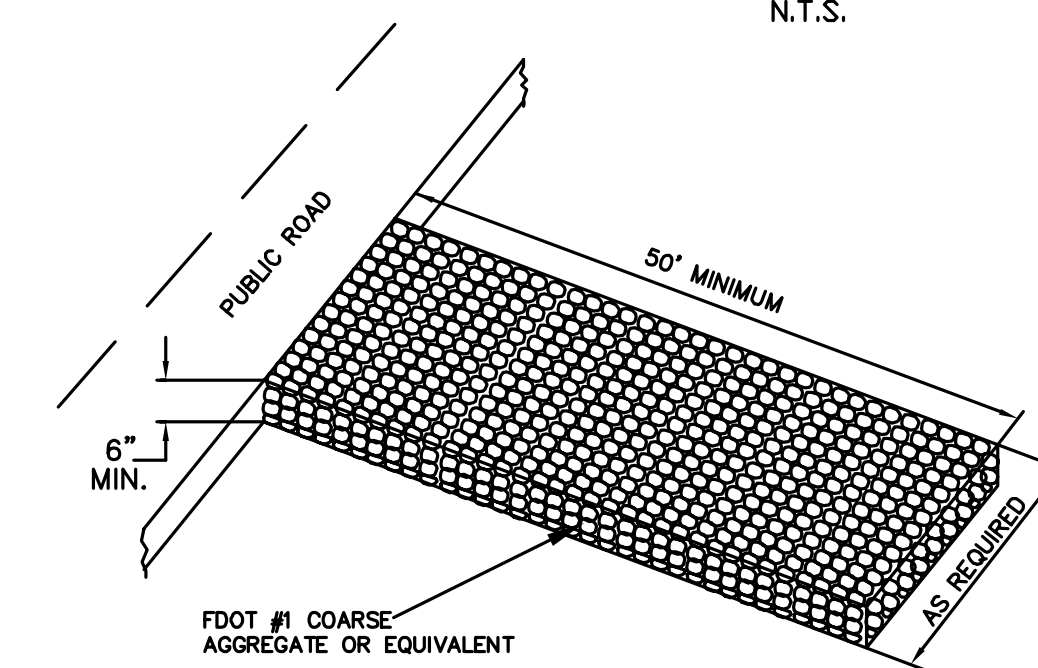
**OUTLET PROTECTION**

N.T.S.



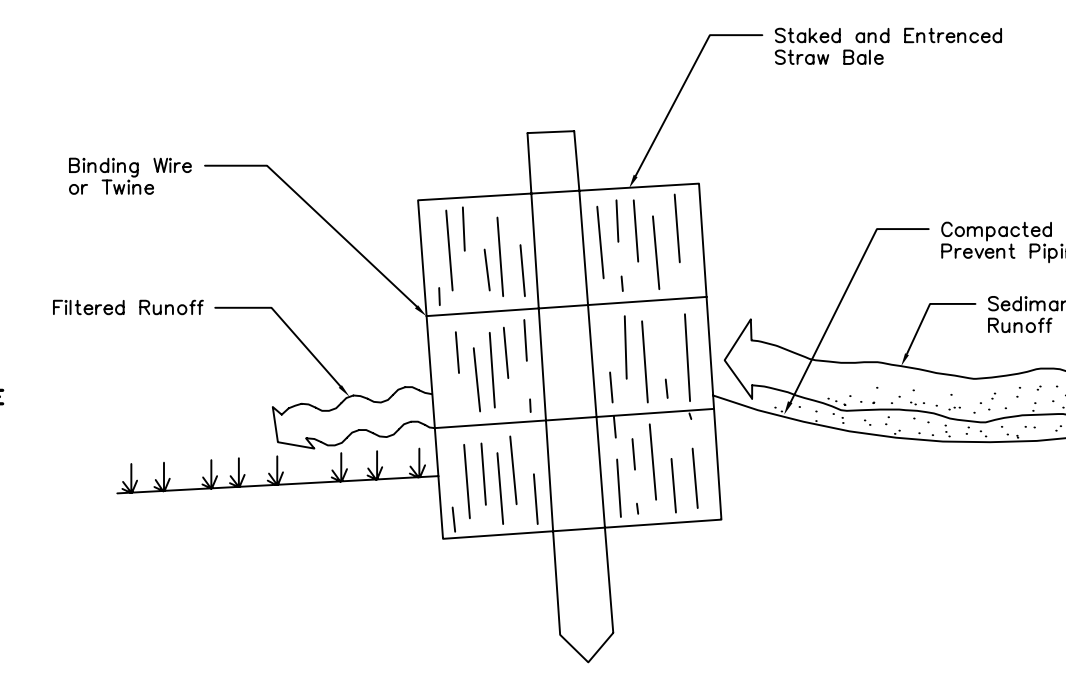
**FILTER BARRIER CONSTRUCTION DETAIL**

(D-910)  
N.T.S.



**STABILIZED CONSTRUCTION ENTRANCE**

N.T.S.



CROSS-SECTION OF A PROPERLY INSTALLED STRAW BALE

**STAKED HAY BALE**

(D-911)  
N.T.S.

**SEDIMENT AND EROSION CONTROL DETAILS**  
**BUILDING 100 RENOVATIONS**  
**FLAGLER CENTER**  
**FLAGLER DEVELOPMENT COMPANY**

DRAWING NUMBER

**11A**

REVISIONS:

ETM NO. 00-247-91

DRAWN BY: C.M.

DESIGNED BY: C.M.

CHECKED BY: P.P.H.

DATE: SEPTEMBER 2013

England-Thims & Miller, Inc.

14775 Old St. Augustine Road

Jacksonville, FL 32226

TEL: (904) 642-8900

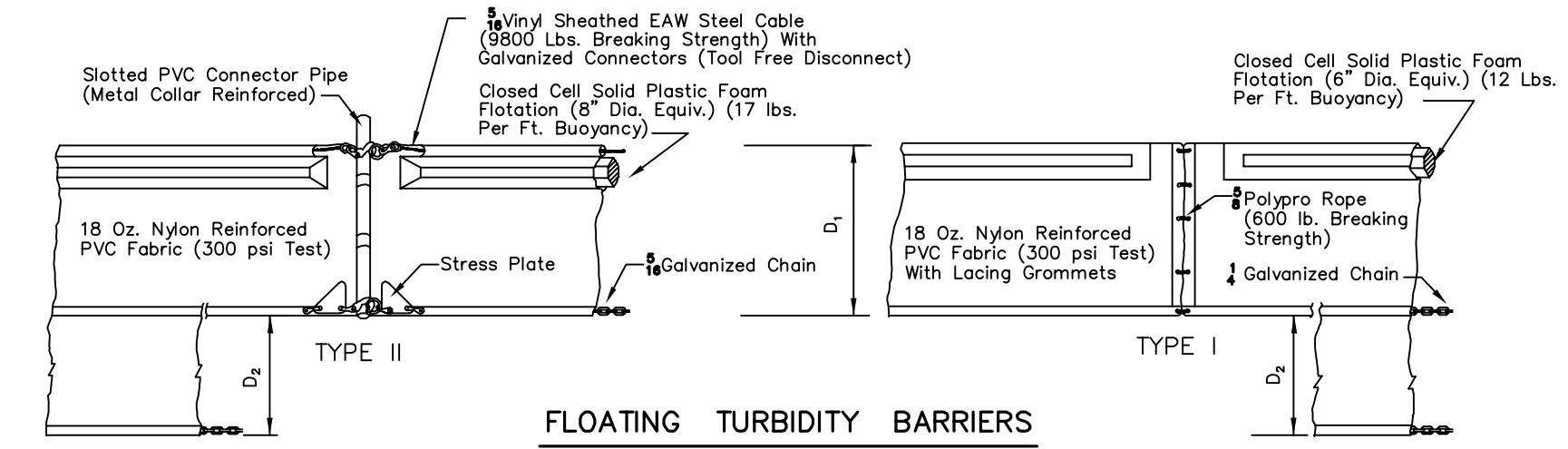
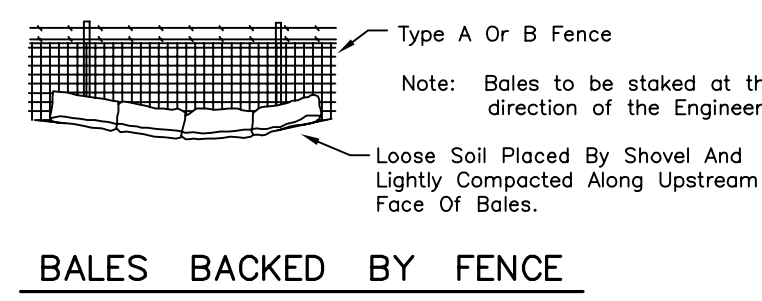
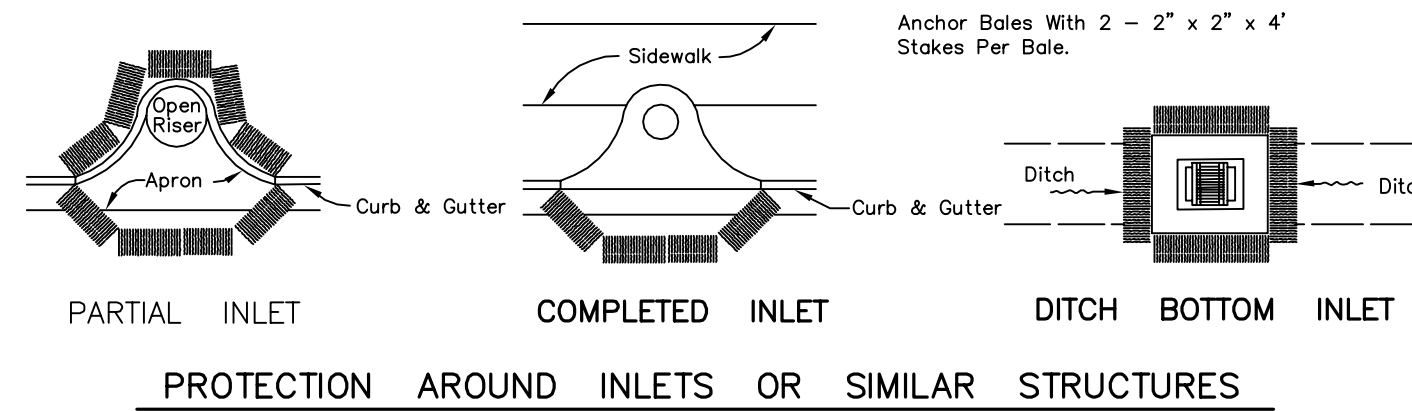
FAX: (904) 642-9465

CA - 0002984 LC - 0000316

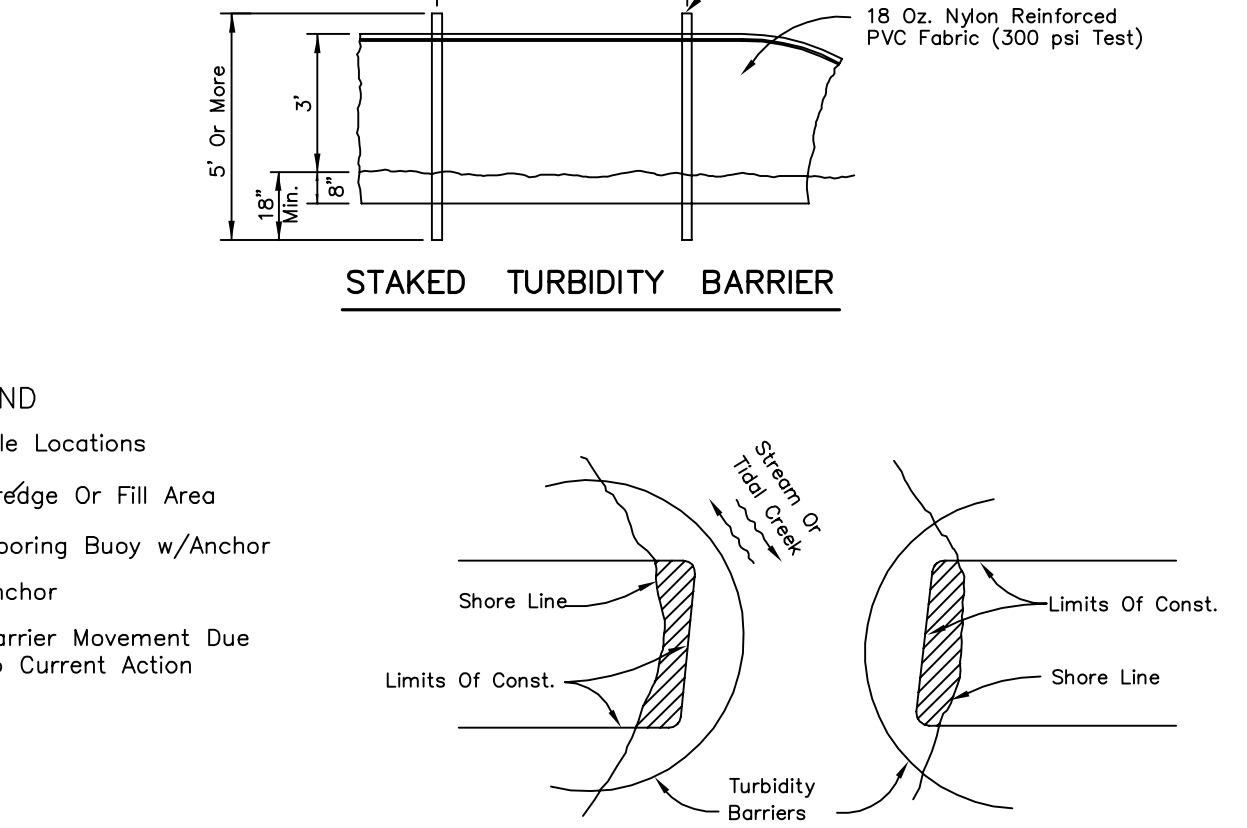
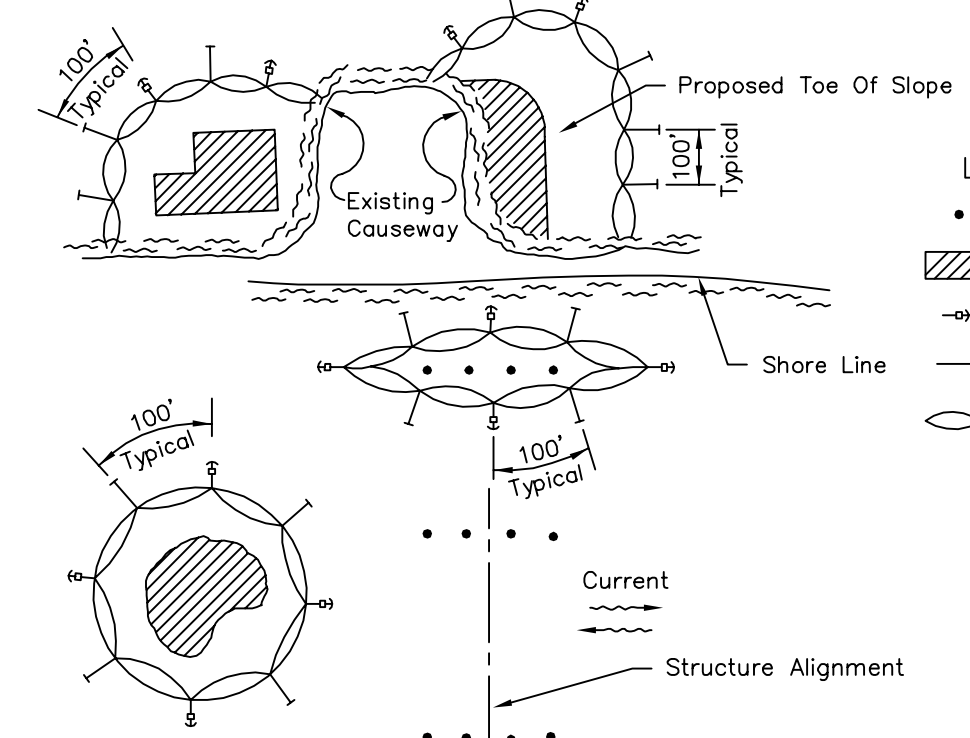
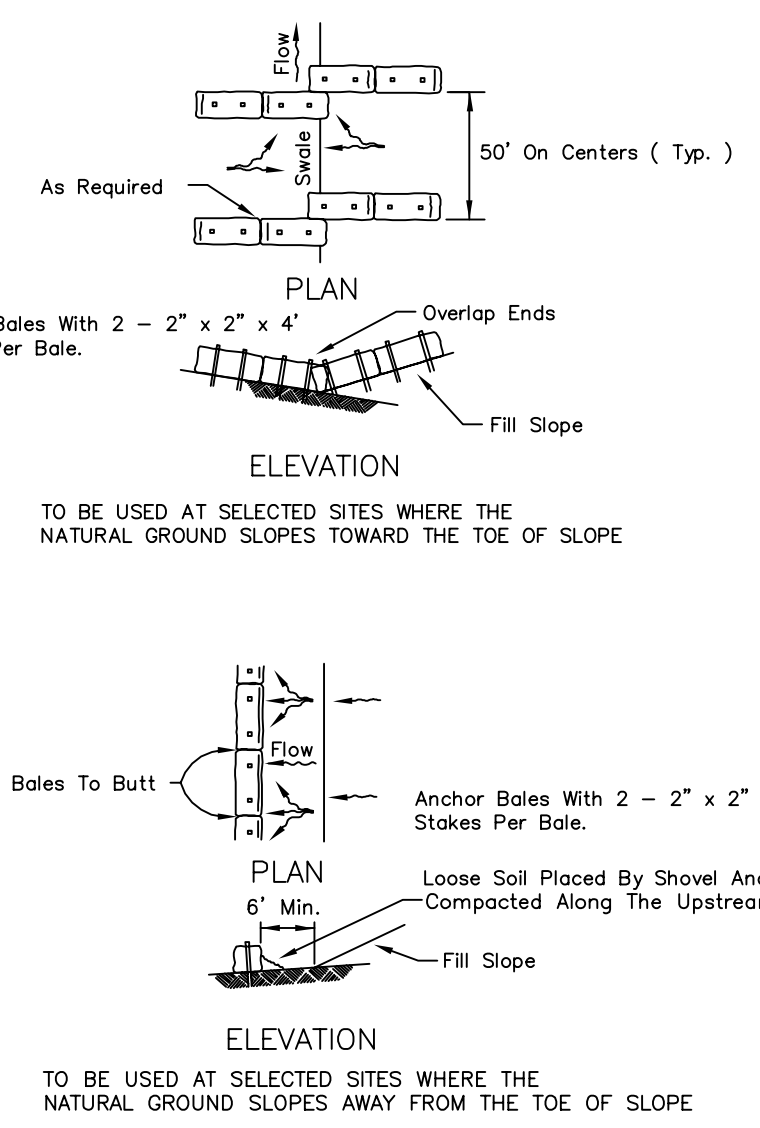
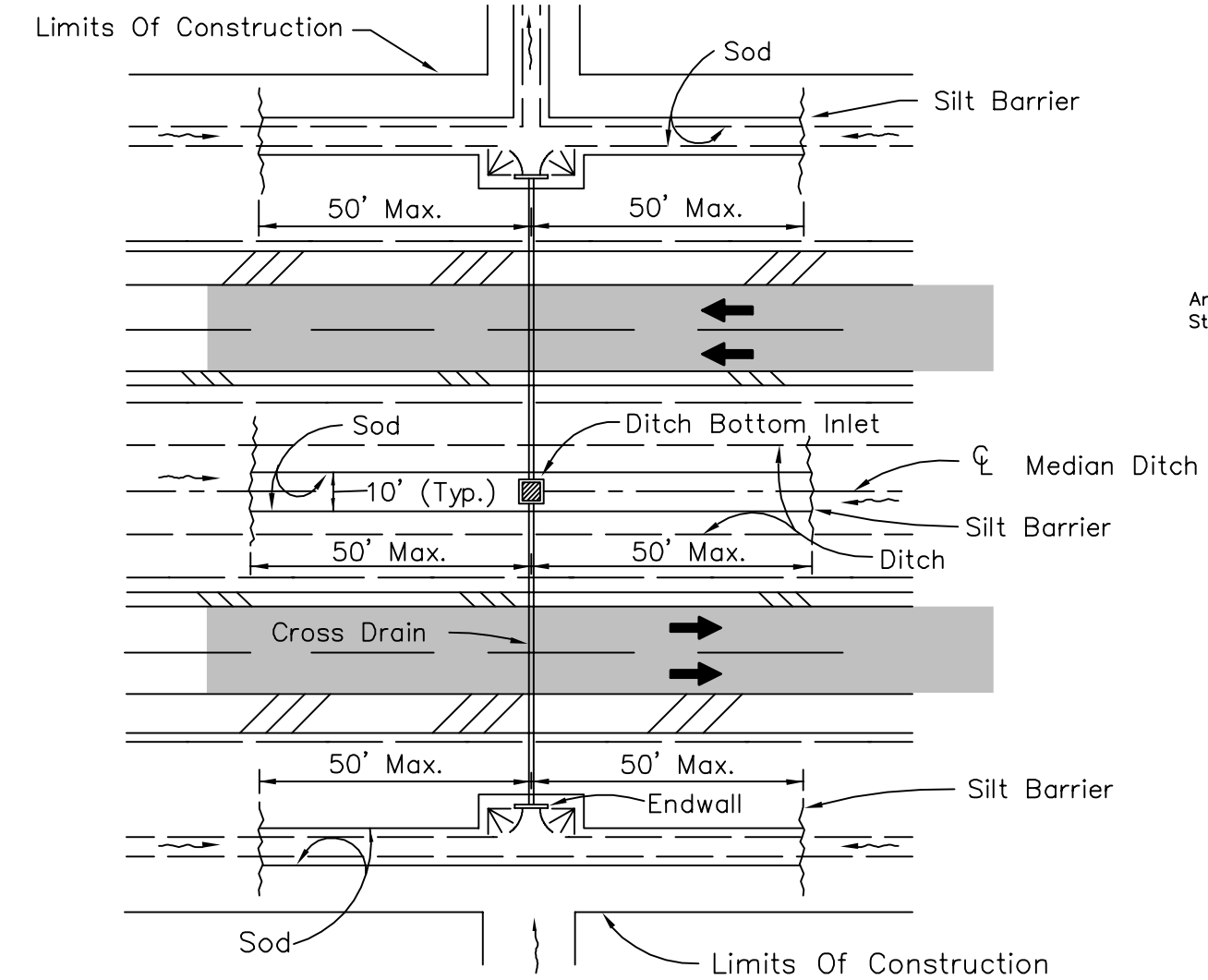
**ETM**  
VISION • EXPERIENCE • RESULTS

**EROSION AND SEDIMENT CONTROL NOTES**

- THE CONTRACTOR IS RESPONSIBLE FOR REMOVING SILT FROM SITE IF NOT REUSABLE ON-SITE AND ASSURING PLAN ALIGNMENT AND GRADE IN ALL DITCHES AND SWALES AT COMPLETION OF CONSTRUCTION.
- THE SITE CONTRACTOR IS RESPONSIBLE FOR REMOVING THE TEMPORARY EROSION AND SEDIMENT CONTROL DEVICES AFTER COMPLETION OF CONSTRUCTION AND ONLY WHEN AREAS HAVE BEEN STABILIZED.
- ADDITIONAL PROTECTION - ON-SITE PROTECTION IN ADDITION TO THE ABOVE MUST BE PROVIDED THAT WILL NOT PERMIT SILT TO LEAVE THE PROJECT CONFINES DUE TO UNSEEN CONDITIONS OR ACCIDENTS.
- CONTRACTOR SHALL INSURE THAT ALL DRAINAGE STRUCTURES, PIPES, ETC. ARE CLEANED OUT AND WORKING PROPERLY AT TIME OF ACCEPTANCE.
- WIRE MESH SHALL BE LAID OVER THE DROP INLET SO THAT THE WIRE EXTENDS A MINIMUM OF 1 FOOT BEYOND EACH SIDE OF THE INLET STRUCTURE. HARDWARE CLOTH OR COMPARABLE WIRE MESH WITH 1/2-INCH OPENINGS SHALL BE USED. IF MORE THAN ONE STRIP OF MESH IS NECESSARY, THE STRIPS SHALL BE OVERLAPPED.
- FDOT NO. 1 COARSE AGGREGATE SHALL BE PLACED OVER THE WIRE MESH AS INDICATED IN D-903. THE DEPTH OF STONE SHALL BE AT LEAST 1/2 INCHES OVER THE ENTIRE INLET OPENING. THE STONE SHALL EXTEND BEYOND THE INLET OPENING AT LEAST 18 INCHES ON ALL SIDES.
- IF THE STONE FILTER BECOMES CLOGGED WITH SEDIMENT SO THAT IT NO LONGER ADEQUATELY PERFORMS ITS FUNCTION, THE STONES MUST BE STOLLED AWAY FROM THE INLET, CLEANED AND REPLACED.
- BALES SHALL BE EITHER WIRE-BOUND OR STRING-TIED WITH THE BINDINGS ORIENTED AROUND THE SIDES RATHER THAN OVER AND UNDER THE BALES.
- BALES SHALL BE PLACED LENGTHWISE IN A SINGLE ROW SURROUNDING THE INLET, WITH THE ENDS OF ADJACENT BALES PRESSED TOGETHER.
- THE FILTER BARRIER SHALL BE ENTRENCHED AND BACKFILLED. A TRENCH SHALL BE EXCAVATED TO A MINIMUM DEPTH OF 8 INCHES. AFTER THE BALES ARE STAKED, THE EXCAVATED SOIL SHALL BE BACKFILLED AND COMPACTED AGAINST THE FILTER BARRIER.
- EACH BALE SHALL BE SECURELY ANCHORED AND HELD IN PLACE BY AT LEAST TWO STAKES OR REBARS DRIVEN THROUGH THE BALE.
- LOOSE STRAW SHOULD BE WEDGED BETWEEN BALES TO PREVENT WATER FROM ENTERING BETWEEN BALES.
- STRAW BALE BARRIERS SHALL BE INSPECTED IMMEDIATELY AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL.
- CLOSE ATTENTION SHALL BE PAID TO THE REPAIR OF DAMAGED BALES, END RUNS AND UNDERCUTTING BENEATH BALES.
- NECESSARY REPAIRS TO BARRIERS OR REPLACEMENT OF BALES SHALL BE ACCOMPLISHED PROMPTLY.
- ANY SEDIMENT DEPOSITS REMAINING IN PLACE AFTER THE STRAW BALE BARRIER IS NO LONGER REQUIRED SHALL BE DRESSED TO CONFORM TO THE EXISTING GRADE, PREPARED AND SEEDED.
- SILT FENCES AND FILTER BARRIERS SHALL BE INSPECTED IMMEDIATELY AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL. ANY REQUIRED REPAIRS SHALL BE MADE IMMEDIATELY.
- SHOULD THE FABRIC ON A SILT FENCE OR FILTER BARRIER DECOMPOSE OR BECOME INEFFECTIVE PRIOR TO THE END OF THE EXPECTED USABLE LIFE AND THE BARRIER STILL BE NECESSARY, THE FABRIC SHALL BE REPLACED PROMPTLY.
- SEDIMENT DEPOSITS SHOULD BE REMOVED AFTER EACH STORM EVENT. THEY MUST BE REMOVED WHEN DEPOSITS REACH APPROXIMATELY ONE-THIRD THE HEIGHT OF THE BARRIER.
- ANY SEDIMENT DEPOSITS REMAINING IN PLACE AFTER THE SILT FENCE OR FILTER BARRIER IS NO LONGER REQUIRED SHALL BE DRESSED TO CONFORM WITH THE EXISTING GRADE, PREPARED AND SEEDED.
- THE STRUCTURE SHALL BE INSPECTED AFTER EACH RAIN AND REPAIRS MADE AS NEEDED.
- SEDIMENT SHALL BE REMOVED AND THE TRAP RESTORED TO ITS ORIGINAL DIMENSIONS WHEN THE SEDIMENT HAS ACCUMULATED TO 1/3 THE DESIGN DEPTH OF THE TRAP. REMOVED SEDIMENT SHALL BE DEPOSITED IN A SUITABLE AREA AND IN SUCH A MANNER THAT IT WILL NOT ERODE.
- THE CONTRACTOR IS RESPONSIBLE FOR FOLLOWING THE BEST EROSION AND SEDIMENT CONTROL PRACTICES AS OUTLINED IN THE PLANS, SPECIFICATIONS AND ST. JOHNS RIVER WATER MANAGEMENT DISTRICT SPECIFICATIONS AND CRITERIA.
- FOR ADDITIONAL INFORMATION ON SEDIMENT AND EROSION CONTROL REFER TO "THE FLORIDA DEVELOPMENT MANUAL - A GUIDE TO SOUND LAND AND WATER MANAGEMENT" FROM THE STATE OF FLORIDA DEPARTMENT OF ENVIRONMENTAL REGULATION (F.D.E.R.) CHAPTER 6.
- EROSION AND SEDIMENT CONTROL BARRIERS SHALL BE PLACED ADJACENT TO ALL WETLAND AREAS WHERE THERE IS POTENTIAL FOR DOWNSTREAM WATER QUALITY DEGRADATION. SEE DETAIL SHEET FOR TYPICAL CONSTRUCTION.
- ALL DISTURBED AREAS SHALL BE GRASSSED, FERTILIZED, MULCHED AND MAINTAINED UNTIL A PERMANENT VEGETATIVE COVER IS ESTABLISHED.
- SOD SHALL BE PLACED IN AREAS WHICH MAY REQUIRE IMMEDIATE EROSION PROTECTION TO ENSURE WATER QUALITY STANDARDS ARE MAINTAINED.
- ANY DISCHARGE FROM DEWATERING ACTIVITY SHALL BE FILTERED AND CONVEYED TO THE OUTFALL IN A MANNER WHICH PREVENTS EROSION AND TRANSPORTATION OF SUSPENDED SOLIDS TO THE RECEIVING OUTFALL.
- DEWATERING PUMPS SHALL NOT EXCEED THE CAPACITY OF THAT WHICH REQUIRES A CONSUMPTIVE USE PERMIT FROM THE ST. JOHNS RIVER WATER MANAGEMENT DISTRICT.
- ALL DISTURBED AREAS TO BE STABILIZED THROUGH COMPACTION, SILT SCREENS, HAY BALES, AND GRASSING. ALL FILL SLOPES 3:1 OR STEEPER TO RECEIVE STAKED SOLID SOD.
- ALL DEWATERING, EROSION, AND SEDIMENT CONTROL TO REMAIN IN PLACE AFTER COMPLETION OF CONSTRUCTION AND REMOVED ONLY WHEN AREAS HAVE STABILIZED.
- THIS PLAN INDICATES THE MINIMUM EROSION AND SEDIMENT MEASURES REQUIRED FOR THIS PROJECT. THE CONTRACTOR IS RESPONSIBLE FOR MEETING ALL APPLICABLE RULES, REGULATIONS AND WATER QUALITY GUIDELINES AND MAY NEED TO INSTALL ADDITIONAL CONTROLS.
- THE CONTRACTOR SHALL BE REQUIRED TO RESPOND TO ALL WATER MANAGEMENT DISTRICT INQUIRIES, RELATIVE TO COMPLIANCE OF SURMWD FOR EROSION AND SEDIMENTATION CONTROL. THE COST OF THIS COMPLIANCE SHALL BE PART OF THE CONTRACT.



**NOTICE:**  
COMPONENTS OF TYPES I & TYPE II MAY BE SIMILAR OR IDENTICAL TO PROPRIETARY DESIGNS. ANY INFRINGEMENT ON THE PROPRIETARY RIGHTS OF THE DESIGNER SHALL BE THE SOLE RESPONSIBILITY OF THE USER. SUBSTITUTIONS FOR TYPES I AND II SHALL BE AS APPROVED BY THE ENGINEER.



**LEGEND**  
 • Pile Locations  
 ▨ Drudge Or Fill Area  
 → Mooring Buoy w/Anchor  
 — Anchor  
 ○ Barrier Movement Due To Current Action

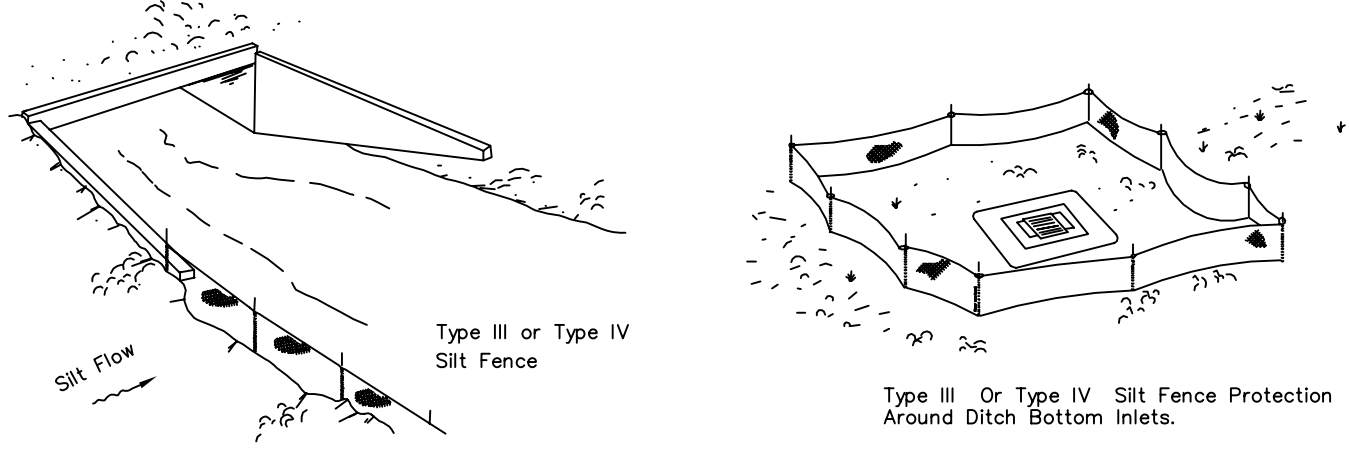
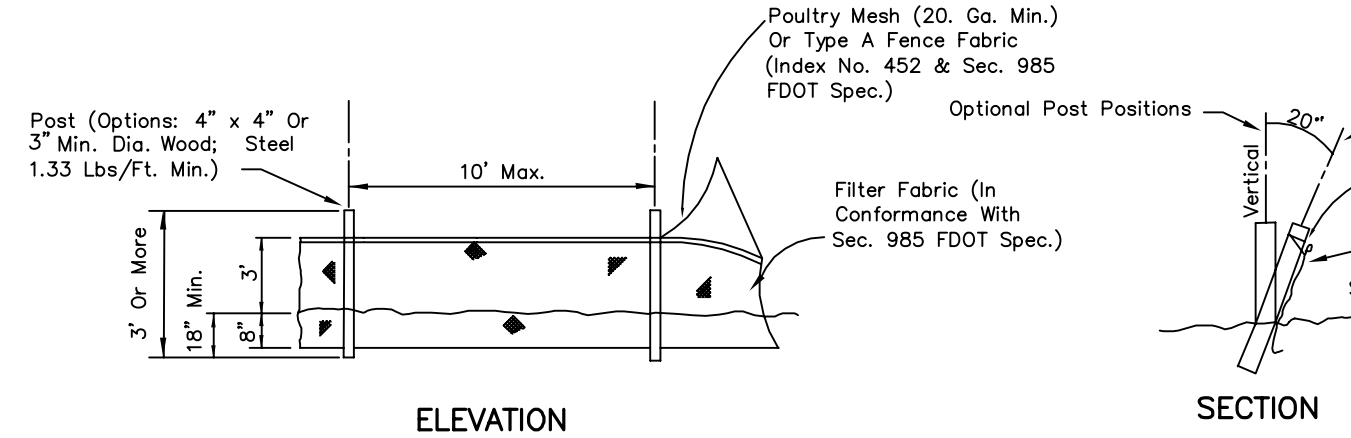
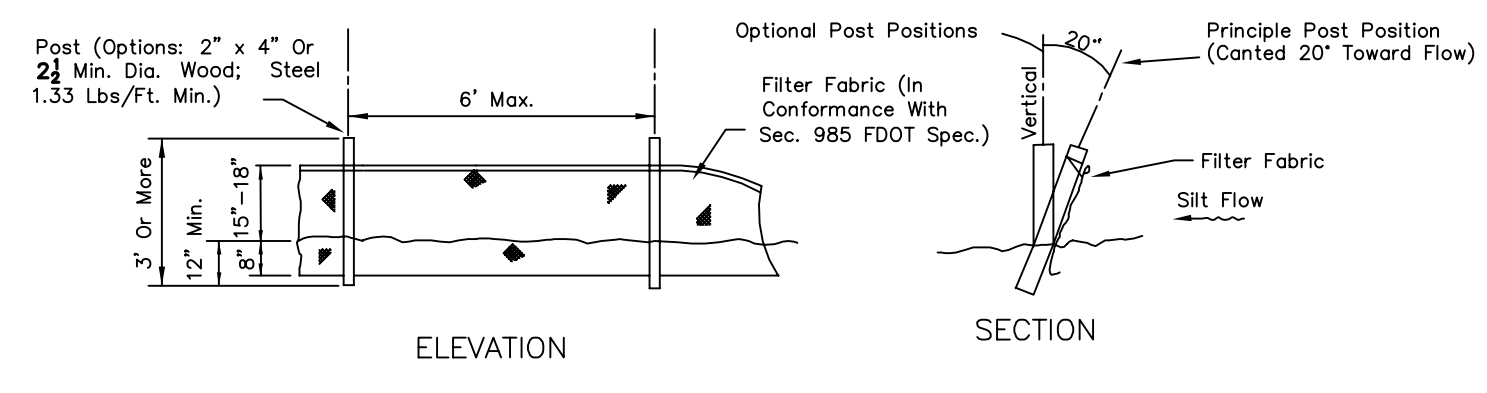
**NOTE:**  
Turbidity barriers for flowing streams and tidal creeks may be either floating, or staked types or any combinations of types that will suit site conditions and meet erosion control and water quality requirements. The barrier type(s) will be at the Contractor's option unless otherwise specified in the plans, however payment will be under the contract lump sum price established in the bid proposal for Erosion & Sediment Control Posts in staked turbidity barriers to be installed in vertical position unless otherwise directed by the Engineer.

- NOTES:**
- Turbidity barriers are to be used in all permanent bodies of water regardless of water depth.
  - Number and spacing of anchors dependent on current velocities.
  - Deployment of barrier around pile locations may vary to accommodate construction operations.
  - Navigation may require segmenting barrier during construction operations.
  - For additional information see Section 104 of the FDOT Standard Specifications.

**DITCH INSTALLATIONS AT DRAINAGE STRUCTURES**

**HAY BALE LOCATION**

(D-901)  
N.T.S.



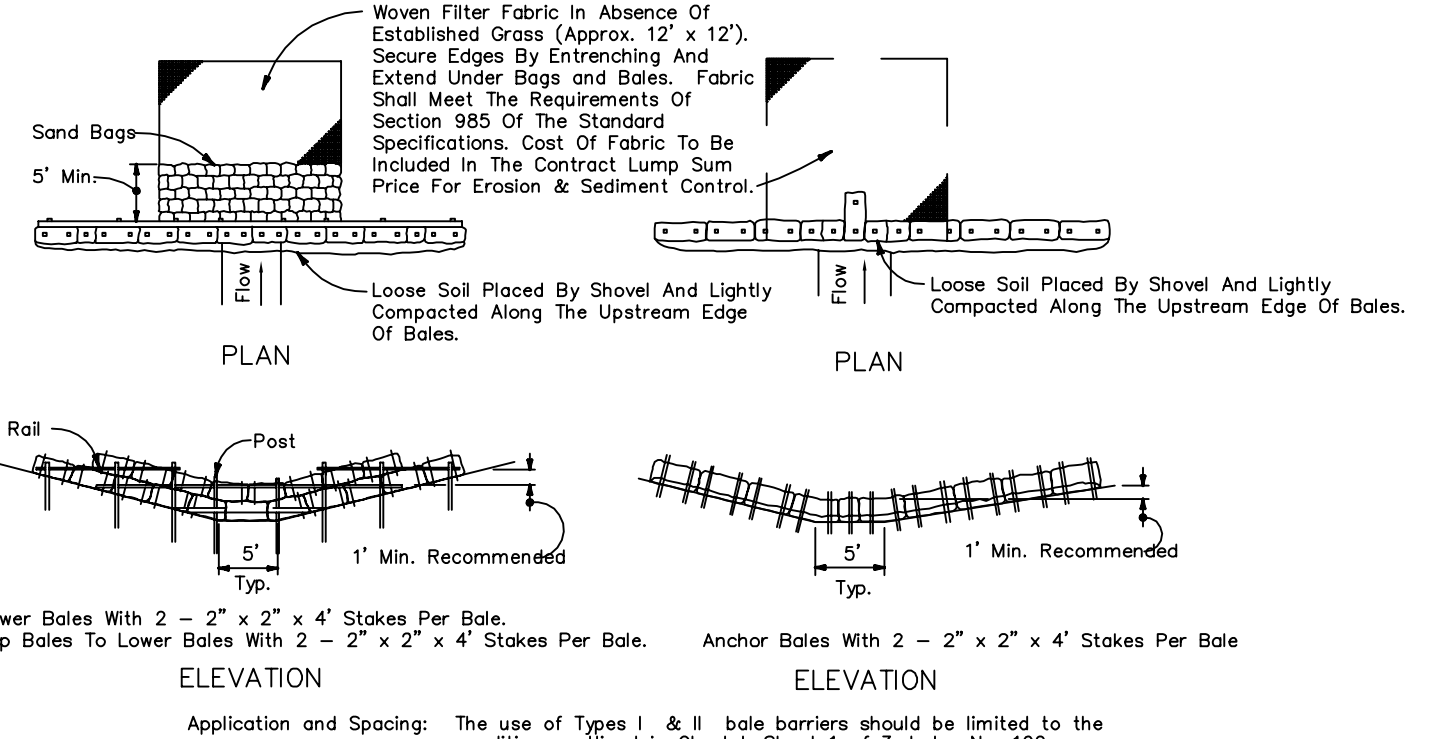
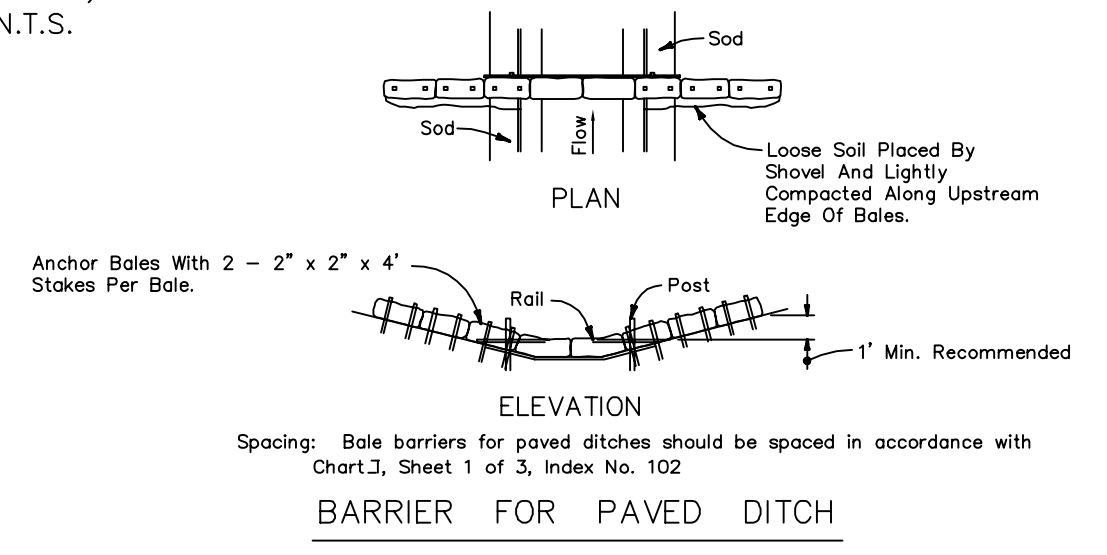
Do not deploy in a manner that silt fences will act as a dam across permanent flowing watercourses. Silt fences are to be used at upland locations and turbidity barriers used at permanent bodies of water.

**SILT FENCE TYPE III & IV**

(D-908)  
N.T.S.

**TURBIDITY BARRIERS**

(D-907)  
N.T.S.



**NOTE:**  
WHERE FDOT SPECS AND INDEX ARE REFERENCED, PLEASE REFER TO FDOT ROADWAY & TRAFFIC DESIGN STANDARDS, AND FDOT STANDARD SPECIFICATIONS FOR ROAD & BRIDGE CONSTRUCTION.

**HAY BALE BARRIERS TYPE I & II**

(D-912)  
N.T.S.

ETM  
VISION - EXPERIENCE - RESULTS

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REVISIONS:

ETM NO. 00-247-91	DESIGNED BY: C.M.	CHECKED BY: P.P.H.	DATE: SEPTEMBER 2013
DRAWN BY: C.M.	DESIGNED BY: C.M.	CHECKED BY: P.P.H.	DATE: SEPTEMBER 2013

PAUL P. HUTCHINSON  
P.E. NUMBER: 593566

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PLOTTED: October 3, 2013 - 4:24 PM, BY: Carmelo Morales

**SEDIMENT AND EROSION CONTROL DETAILS**

**BUILDING 100 RENOVATIONS  
FLAGLER CENTER  
FLAGLER DEVELOPMENT COMPANY**

DRAWING NUMBER  
**11B**

